JOINT REGIONAL PLANNING PANEL Western

2015WES004
2015/0085
Bathurst Regional Council
Additions and Alterations to Existing Buildings and Use as an Education Facility (Engineering School)
353 Panorama Avenue, Mitchell
Charles Sturt University Reserve Trust
0
Approval with Conditions
Scott Hoy, Development Control Planner & Richard Denyer, Manager Development Assessment

MAYOR, GM, R.DENYER, S. HOY.

Assessment Report and Recommendation

Executive Summary

The Development Application involves additions and alterations to two existing buildings and for the use of these buildings as an educational establishment (School of Engineering) on the Charles Sturt University (CSU) Bathurst Campus. The development includes:

- Refurbishment of the existing ground floor to include student study space, meeting rooms and labs;
- Additional 107m2 of GFA at the tip of southern wing of the ground floor for a new lab;
- Addition of a mezzanine Level 1 to facilitate staff open plan office and meeting rooms:
- Associated landscaping works;
- Minor additions and amendments to existing access and road infrastructure;
- Installation of solar panels; and
- Refurbishment of the existing cottage (known as the "Farmhouse") and addition of a meeting room.

The subject land is zoned SP2 Infrastructure with a designated purpose of Education pursuant to the Bathurst Regional Local Environmental Plan 2014. The proposed development is defined as an *educational establishment* and is permissible with consent in the SP2 Infrastructure zone.

The development is to be undertaken by Charles Sturt University Bathurst and has an estimated capital investment value of \$8.336 million. Accordingly the Joint Regional Planning Panel is the consent authority pursuant to Schedule 4A Environmental Planning and Assessment Act 1979, as amended.

The site is located within the Bathurst Campus of Charles Sturt University approximately 2km south of Bathurst at 353 Panorama Avenue. The site is bounded to the north by Research Station Drive and to the east by Panorama Avenue. Access to the site will be via the main University entrance off Panorama Avenue.

The Development Application has been assessed under Section 79C of the Environmental Planning and Assessment Act 1979 and is considered acceptable.

It is therefore recommended that the Joint Regional Planning Panel approve Development Application 2015/0085 subject to conditions as included in <u>attachment</u> 4 to this report.

Proposed Development

The Development Application involves additions and alterations to two existing buildings and for the use of these buildings as an educational establishment (School of Engineering) on the Charles Sturt University (CSU) Bathurst Campus. The development includes:

- Refurbishment of the existing ground floor to include student study space, meeting rooms and labs;
- Additional 107m2 of GFA at the tip of southern wing of the ground floor for a new lab;
- Addition of a mezzanine Level 1 to facilitate staff open plan office and meeting rooms;
- Associated landscaping works;
- Minor additions and amendments to existing access and road infrastructure;
- Installation of solar panels; and
- Refurbishment of the existing cottage (known as the "Farmhouse") and addition of a meeting room.

A full set of plans are provided at attachment 1.

The Development Application has been supported by a number of documents including:

- Architectural plans prepared by Thomson Adsett Architects;
- Landscape plan prepared by Thomson Adsett Architects;
- Statement of Environmental Effects prepared by JBA;
- Traffic and Parking Assessment prepared by TEF;
- Hazardous materials risk assessment undertaken by Greencap; and
- BCA Capability Statement undertaken by McKenzie Group.

These documents are provided at attachment 2.

The Subject Land

The subject buildings are located on Lot 287 DP 47960 and is part of the much larger Bathurst Campus of Charles Sturt University located at 353 Panorama Avenue. The university campus is bounded by Research Station Drive to the north, Browning Street to the north-east and Panorama Avenue to the south-east.

The existing buildings involved in this proposal are located on the southern side of the CSU Bathurst campus and are accessed from Village Drive (a private road) which intersects with Panorama Avenue at the campus' main entrance.

The larger of the two existing buildings is a single storey "U" shaped building (circa 1980s). This building was previously used for administration purposes. The smaller of the existing buildings is a single storey cottage, commonly known as the "Farmhouse" (circa 1900). This building was also previously used for administration purposes.

The buildings are separated by a carpark and established vegetation.

The locality

The Bathurst campus of Charles Sturt University is located approximately 2 kilometres south-west of the CBD of Bathurst.

The general locality is zoned SP2 Infrastructure.

The University campus sits below the iconic Mount Panorama Racing Circuit.

A locality plan is at attachment 3.

Planning Provisions

In determining a Development Application the consent authority is to take into consideration such of the matters outlined in section 79C of the Act as are relevant to the application.

The relevant matters are outlined below

STATE ENVIRONMENTAL PLANNING POLICIES

SEPP (INFRASTRUCTURE) 2007

The proposed development is defined as an *educational establishment* under clause 27 of SEPP Infrastructure 2007 and is permitted with consent on land zoned SP2 Infrastructure.

In accordance with Clause 27 an *educational establishment* means a building or place used for education (including teaching), being:

- (a) a school, or
- (b) a tertiary institution, including a university or a TAFE establishment, that provides formal education and is constituted by or under an Act.

The proposal was referred to the RMS under Clause 104 of SEPP Infrastructure 2007 as traffic generating development. The RMS have raised no objections and issued concurrence.

BATHURST REGIONAL LOCAL ENVIRONMENTAL PLAN 2014

The subject land is zoned SP2 Infrastructure with a designated purpose of Education pursuant to the Bathurst Regional Local Environmental Plan 2014 (BRLEP 2014).

Clause 2.3(2) of the BRLEP 2014 states that:

The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within the zone.

The objectives of the SP2 Infrastructure zone are as follows:

Zone SP2 Infrastructure

1 Objectives of zone

- To provide for infrastructure and related uses.
- To prevent development that is not compatible with or that may detract from the provision of infrastructure.

The proposed development is defined as an *educational establishment* and is permissible with consent in the SP2 Infrastructure zone. The proposal is not inconsistent with the objectives of the zone.

Clause 7.6 Mount Panorama environs

The land is subject to special LEP provisions contained in Clause 7.6 Mount Panorama environs and Clause 5.10 Heritage Conservation.

Clause 7.6 Mount Panorama environs applies to the subject land and is repeated below:

- (1) The objectives of this clause are as follows:
 - (a) to ensure development in and around the Mount Panorama Racing Circuit accounts for potential noise and other land use conflicts associated with motor racing and related events,
 - (b) to ensure the future of Mount Panorama as an international motor racing circuit.
- (2) This clause applies to land identified as "50 dBA" on the Mount Panorama Environs Map.
- (3) Development consent must not be granted to development on land to which this clause applies unless the consent authority has considered:
 - (a) whether the development will result in an increase in the number of dwellings or land uses identified by the consent authority as sensitive noise receivers exposed to noise and other land use conflicts from motor racing and associated events, and
 - (b) whether noise impacts from motor racing and associated events are mitigated by or minimised by the design, siting or construction of the development to ensure that the amenity of the development is not adversely affected.

The development does not involve any residential development nor is it considered to be a sensitive noise receiver. Accordingly it will not have any significant impact upon the operations of Mount Panorama Racing Circuit.

Clause 5.10 Heritage conservation

The university campus has a number of recognised heritage items.

The proposed development site is located a significant distance from these buildings.

It is therefore not considered to affect the significance and integrity of these items.

The proposal will result in the adaptive reuse of the farm house building. This reuse is considered positive and a condition has been imposed to ensure an interpretive signage strategy is implemented for the building.

BATHURST 2036 COMMUNITY STRATEGIC PLAN

The Bathurst 2036 Community Strategic Plan sets the vision and direction of the Bathurst community for the future. It was adopted by Council in February 2012.

Two of the objectives identified as necessary to make Bathurst a liveable community into the future were:

Objective 5: To facilitate and foster partnerships, networks and infrastructure to support and attract knowledge, innovation and research.

Objective 26: To encourage and support the provision of a range of opportunities for life long education across the Bathurst community.

The proposed development is aligned with both of these objectives as it will provide an additional educational facility that will in turn foster knowledge, innovation and research.

BATHURST REGIONAL DEVELOPMENT CONTROL PLAN 2014 (BRDCP 2014)

There are no specific development controls that specifically relate to the site or the proposal.

LIKELY IMPACTS (NATURAL AND BUILT ENVIRONMENTS AND SOCIAL AND ENVIRONMENTAL IMPACTS)

SCENIC QUALITY

It is not considered that the proposed facility will negatively impact upon the scenic quality of the campus and the locality.

The modern design, overall bulk, external colours and landscaping used for the development have been considerate to the open space character of the site. The development is not located on a ridgeline or natural rise and is therefore not considered to visually dominate the area. The development will not detract from any views towards the iconic Mount Panorama.

POLLUTION

Conditions have been imposed in relation to the disposal of any trade waste through

Council's infrastructure. The opportunity for water or air pollution is not considered a major concern for this development as all dust generating surfaces will be sealed.

ECONOMIC IMPACTS

There are numerous positive economic impacts for the community as a result of this development.

The construction will provide employment for local trades people and other ancillary businesses that supply materials and fittings. There are also additional employment opportunities during the facility's operation for local educators and administrative staff. The economic and employment opportunities particularly for young professionals and students may also enhance the overall economic viability of the region and attractiveness of Bathurst as a place to live.

SOCIAL IMPACTS

The development of an Engineering Education facility is considered to have significant positive social impacts on the area. It will provide additional engineering services to the region. The educational and teaching component of the facility is also considered to contribute to the overall social capital of the region by enhancing the skill capacity of students and the community.

THREATENED SPECIES

There is no critical habitat, threatened species or sensitive ecological communities and their habitats on the site.

ADJOINING PROPERTIES

The facility is located solely within the university campus, adjacent to other buildings of similar use. There are no adjoining properties that will be affected. Privacy and overshadowing are not considered relevant to the proposal given the use of the site for educational purposes. The proposed development is consistent with current zoning and compatible with the other teaching and educational buildings.

TRAFFIC GENERATION

The traffic and parking impact assessment submitted has concluded that the proposed development will generate little additional traffic and will not affect the existing traffic conditions. The current intersection of Panorama Ave/CSU entrance would continue to operate with a good level of service.

SUITABILITY OF THE SITE FOR DEVELOPMENT

DESIGN OF THE DEVELOPMENT

The proposal will facilitate the development of an Engineering school at Charles Sturt University.

The design of the overall building has been undertaken by Thomson Adsett Architects. The proposal involves the additions and alterations to an existing building.

The building will be two storey with external colours being fairly muted so as to reflect the surrounding open, natural landscape.

The design of the building is considered appropriate for the locality as a modern, innovative educational establishment.

RISK AND SUITABILITY OF SITE

There are no technological or natural hazards associated with this proposal.

PARKING AND ACCESS

Bathurst Regional DCP 2014 requires 1 space per 2 employees and 1 space per 5 students for tertiary establishments.

This would require 30 spaces based on figures provided by CSU. There will be 48 spaces available adjacent to the building with carpark P5 to the east of the proposed development contains an additional 317 spaces.

The Traffic Study prepared by TEF Consulting based their car parking requirements on Councils' Development standards and the level of demand for car parking spaces drawn from the CSU Bathurst Campus Study which looked at various modes of travel used on campus. The Traffic Study calculated that 30 spaces were required.

Based on these considerations, the level of car parking provided for is considered adequate to service the development proposal.

In accordance with Council's bicycle parking standards, the development will be required to provide 1 space for employees and 5 spaces for students. The development has provided 6 bicycle spaces along with 2 change and shower facilities. The staff change room facility provided for in the plans is considered satisfactory.

Access to the site will be from an internal University road that runs through the site.

The traffic report submitted concludes that there will be no negative impact on the operation of intersection and the capacity of the local streets as a result of this development. The traffic generation from the site will not require any upgrading of the intersections.

The proposal was referred to the RMS under Clause 104 of SEPP Infrastructure 2007 as traffic generating development. The RMS have raised no objections and issued concurrence.

PUBLIC TRANSPORT

The University is serviced by a local bus service. The facility is not considered to require additional services.

UTILITIES

The University campus has its own water, sewer and stormwater systems connected to the Council systems. It will be a condition of consent that during construction the relevant connections are made to these services.

TRADE WASTE

It is expected that there is a potential for some form of trade waste to be generated during the operation of the facility. The disposal of this through the appropriate channels will be a condition of consent.

LANDSCAPING

A landscape plan was submitted as part of this application. Conditions will be imposed requiring the applicant to submit a landscape plan prepared in accordance with Chapter 13 of the Bathurst Regional DCP 2014.

SOIL AND WATER MANAGEMENT

The site slopes gently south-west, back towards the rear of the property.

A soil and water management plan will be required as a condition of consent.

The proposal and documentation have been reviewed by Council's Development Engineer who has raised no objections and has recommended conditions.

AMENITY CONSIDERATIONS

The proposed development is considered to be compatible with the existing and likely future character and use of the mixed use locality, in particular the range of services and facilities that are available within the university campus itself.

There will be some noise and vibration impact during the construction of this development however this will only be temporary and can be further mitigated by limiting construction to a particular time of day.

The building will be in use generally from 9am- 5pm, with some student classes operating outside of these hours on the odd occasion. As the proposed development is located solely within the CSU campus with no other adjoining owners, there is not considered to be any amenity considerations.

DEVELOPER CONTRIBUTIONS

The proposed site is subject to contributions to the Jordon Creek Stormwater

Management Plan. Monetary contributions for public buildings on land zoned Special uses are calculated on the level of impervious area generated by a development.

As the area of impervious surfaces is still unclear from the plans, Council will require the submission of survey plan prepared by a registered surveyor clearly indicating the final area of all additional impervious surfaces for the development to enable the relevant contribution to be calculated.

CONSULTATION AND SUBMISSIONS

This proposal did not require exhibition or notification in accordance with Council's exhibition and notification of development application policy under the Bathurst Regional DCP 2014.

The proposal was referred to the RMS under Clause 104 of SEPP Infrastructure 2007 as traffic generating development.

The proposal was referred to the NSW Police Force for review in accordance with CPTED principles. The NSW Police Force has identified the development as a low crime risk.

PUBLIC INTEREST

The proposal is not inconsistent with any relevant published Commonwealth, State or local government policy, plan, guideline, study or strategy.

CONCLUSION

An assessment of the Development Application has been carried out in accordance with Section 79C of the Environmental Planning and Assessment Act. It is considered that the development warrants approval subject to conditions to address the environmental impact.

A copy of the draft conditions of consent are provided at attachment 4.

RECOMMENDATION

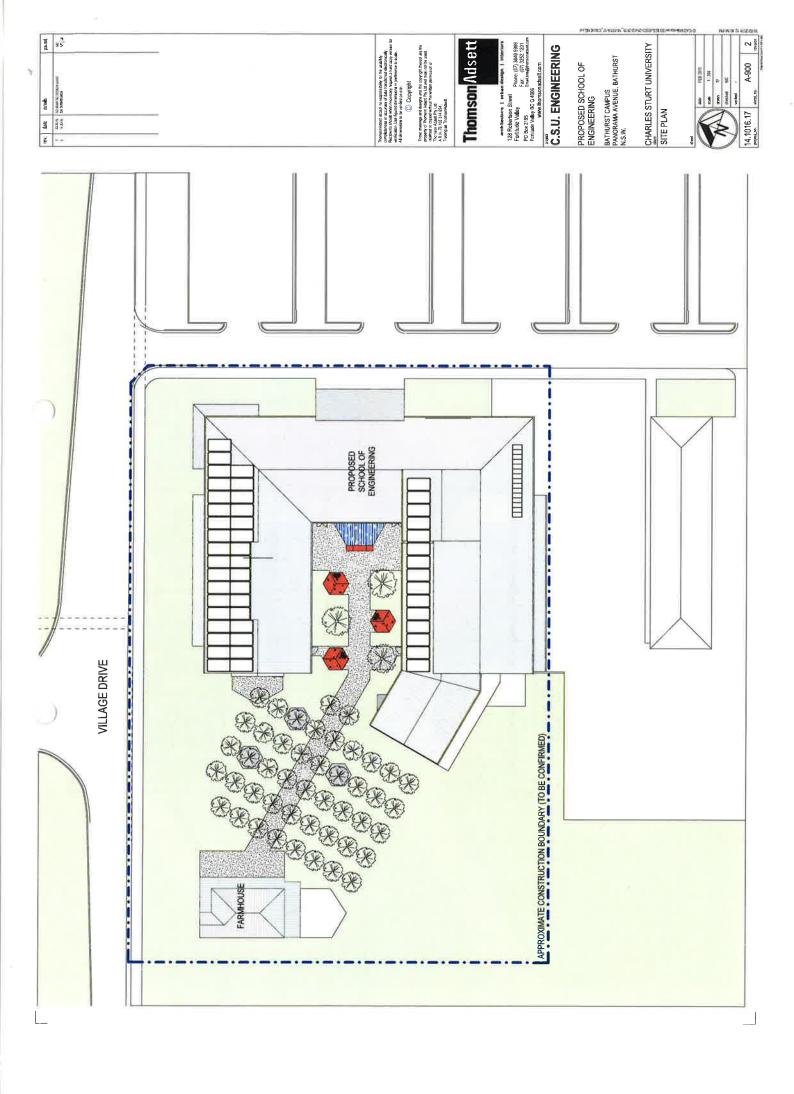
It is recommended that the JRPP approve Development Application 2015/0085 (2015WES004) subject to those conditions included in this report.

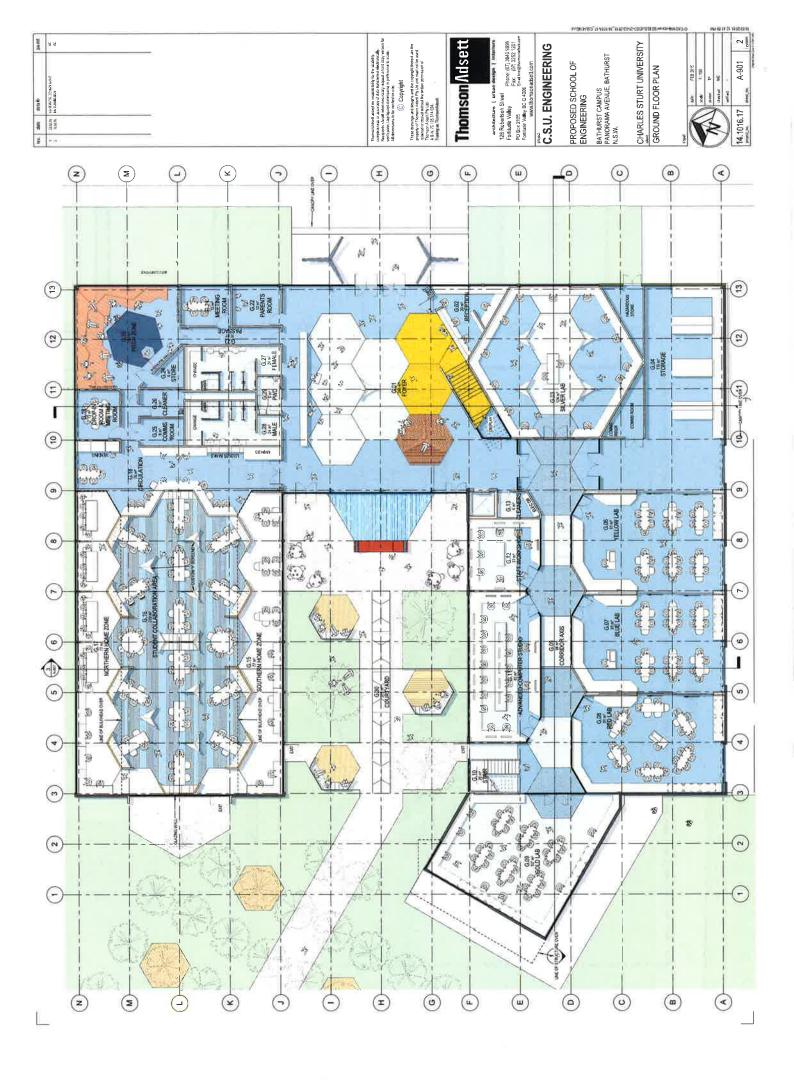
Attachment 1: Development Application Plans

Attachment 2: Supporting Documentation

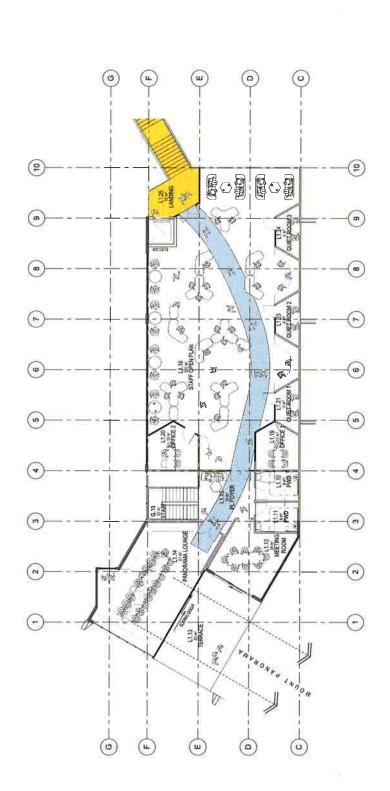
Attachment 3: Locality Map

Attachment 4: Conditions of consent

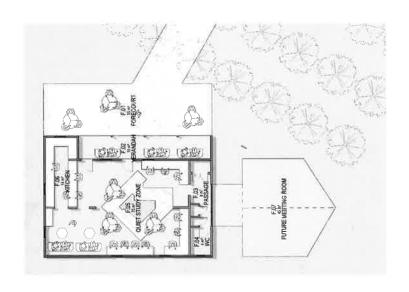


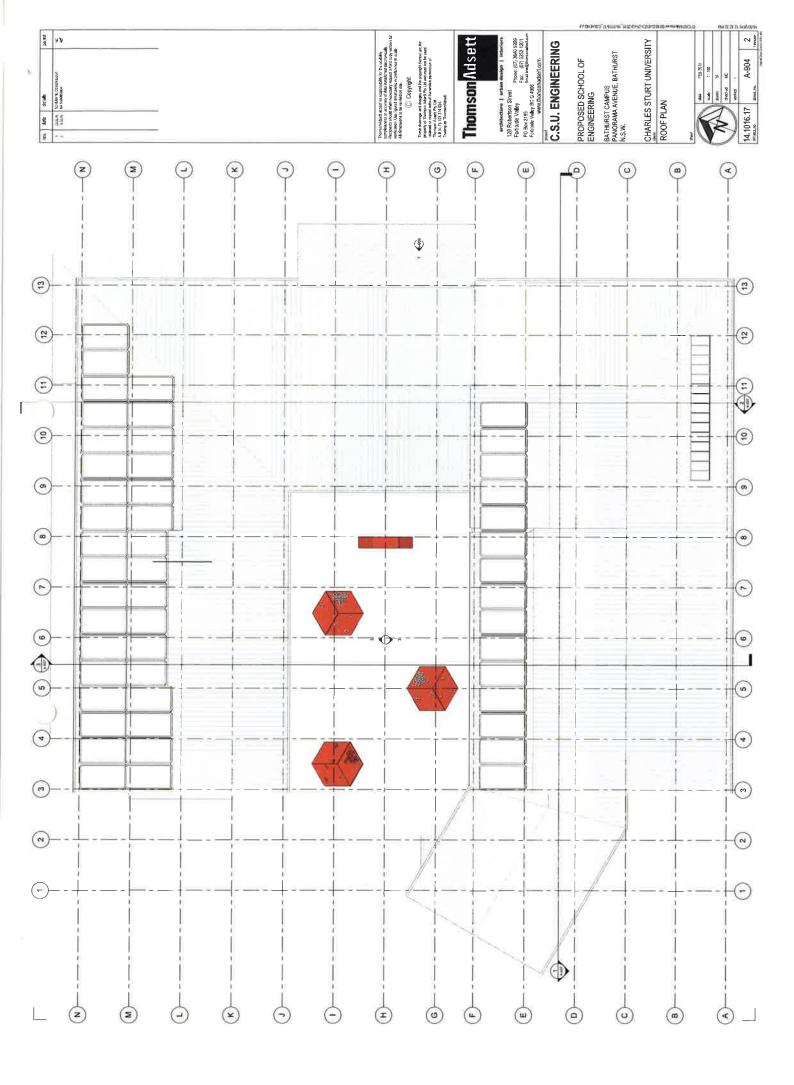


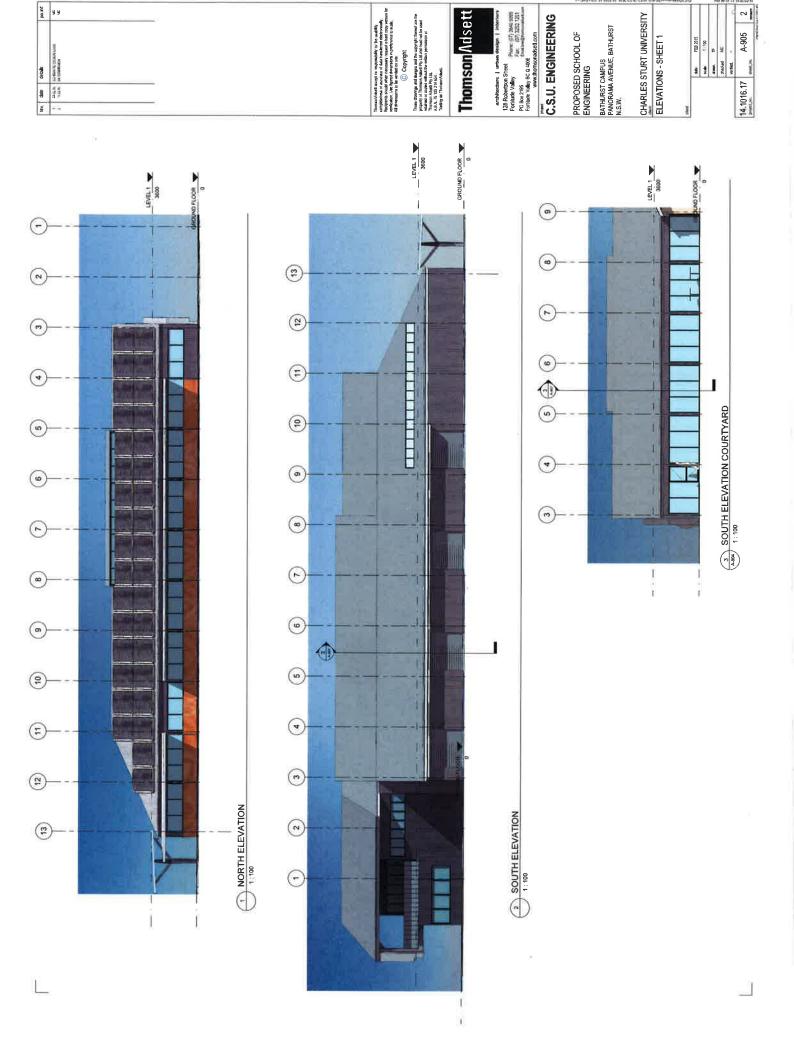
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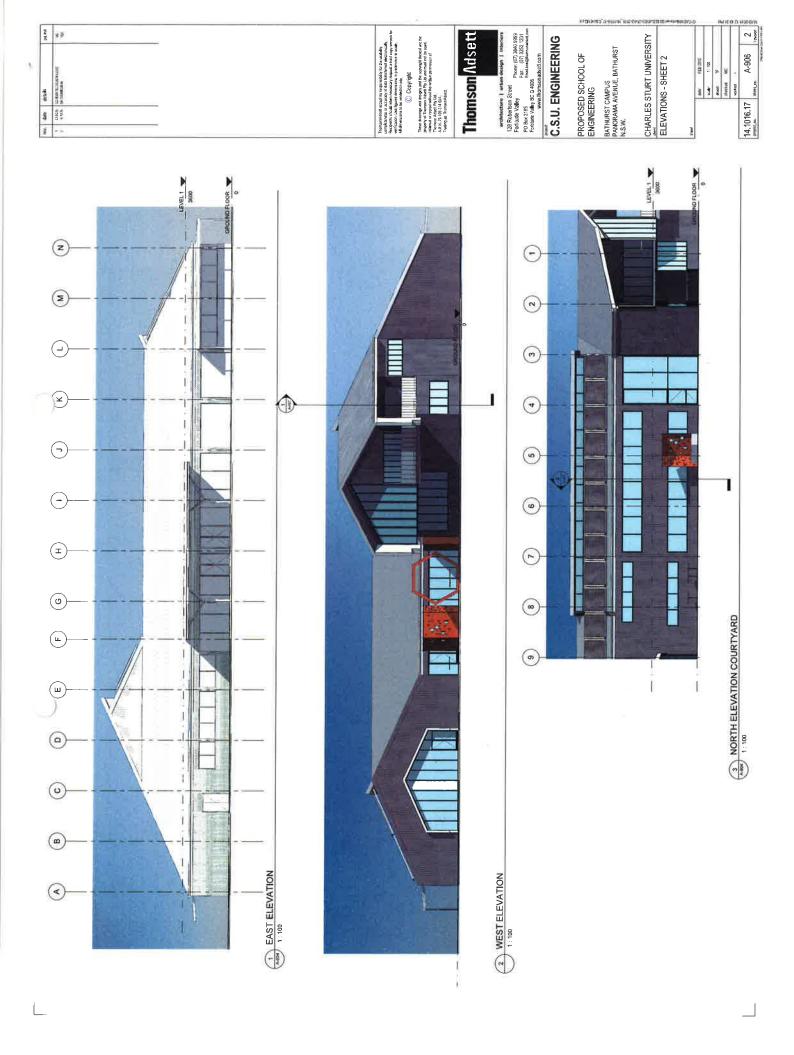


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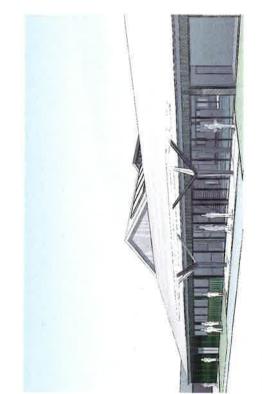
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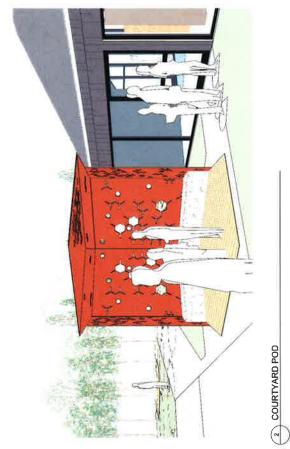


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CHARLES STURT UNIVERSITY 3D VIEWS POD

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McKenzie Group Consulting (NSW) Pty Ltd
acN 093 211 295
Level 6 189 Kent St. Svdney NSW 2000
Tex 02 8298 6800 Fax: 02 8298 6899
email@dicketbre.stroup.copp.zu.

Thomson Adsett Architects 128 Robertson Street Fortitude Valley QLD 4006

Attention:

Mitchell Carr

Dear Mitchell,

Re: New Engineering Building, Charles Stuart University, Bathurst Campus, Panorama Avenue, Bathurst. BCA Capability Statement

McKenzie Group Consulting has been appointed as the Building Code of Australia Consultant in relation to the proposed development application. We have been involved with the review of the Concept Design.

Development Site:

The site is located in Bathurst. The site has a Northern frontage to Village Drive and an Eastern frontage to Panorama Avenue. The site area is 6,282 m2.

Proposed Development:

The proposed development will consist of new two storey engineering building.

The lower levels will include a foyer, a student collaboration area, and laboratory areas, meeting rooms, storage rooms, computer room and amenities to serve the students. The first floor level will include a staff open plan office, quiet rooms and meeting rooms. In addition there is a small separate quiet study building which is located away from the main building.

Current Legislation

The applicable legislation governing the design of buildings is the Environmental Planning and Assessment Act 1979. This Act requires that all new building works must be designed to comply with the BCA.

The version of the BCA applicable to the development, is the version that in place at the time of the application to the Certifying authority for the Construction Certificate.

BCA Assessment:

Summary of Construction Determination: -

Classification	9b & 5
Number of Storeys Contained	2
Rise In Storeys	2
Type of Construction	В
Effective Height (m)	10m

Summary of the floor areas and relevant populations where applicable: -

Part of Building	BCA Classification
Ground Floor Level	9b
First Floor	5

We have reviewed the concept design documentation against the provisions of the Building Code of Australia 2014. We have formed the opinion that, based on the below documentation, the project is capable of complying with the Building Code of Australia 2014.

The design will be further developed to comply with the relevant BCA prescriptive (deemed-to-satisfy) provisions.

Should you seek any further clarification, please do not hesitate to contact the undersigned.

Documentation reviewed:

• Preliminary Drawings prepared by Thomas Adsett Architects; 14-1016-17-A-900(1) to 909 (1)

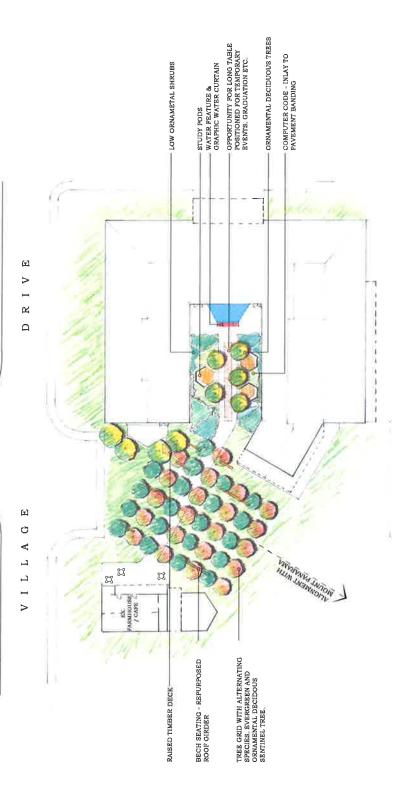
Yours faithfully

Mark Painter

Building Surveyor – Accredited Certifier (Grade 3). McKenzie Group Consulting (NSW) Pty Ltd

ACN 093 211 995



























OPEN LAWN FOR GROUP GATHERINGS



















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Danuinia citriodora Lemon-scented Darwinia

Crowea exalata Waxflower

Correa pulchella Salmon Correa













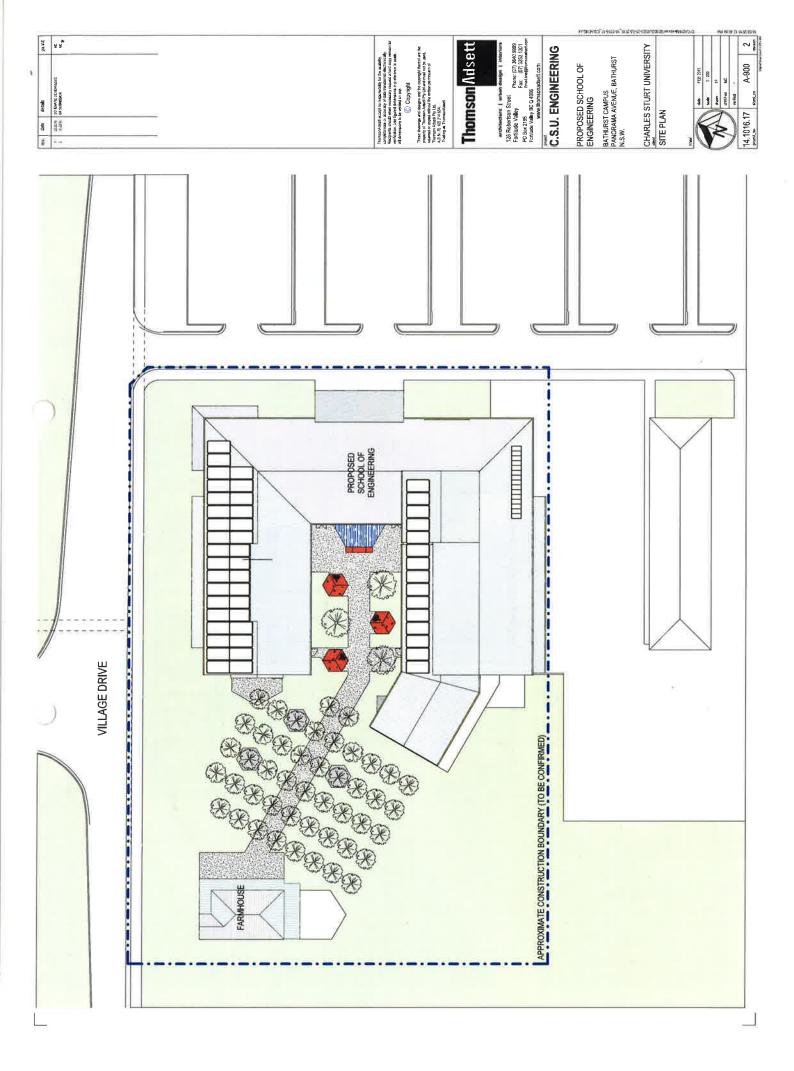


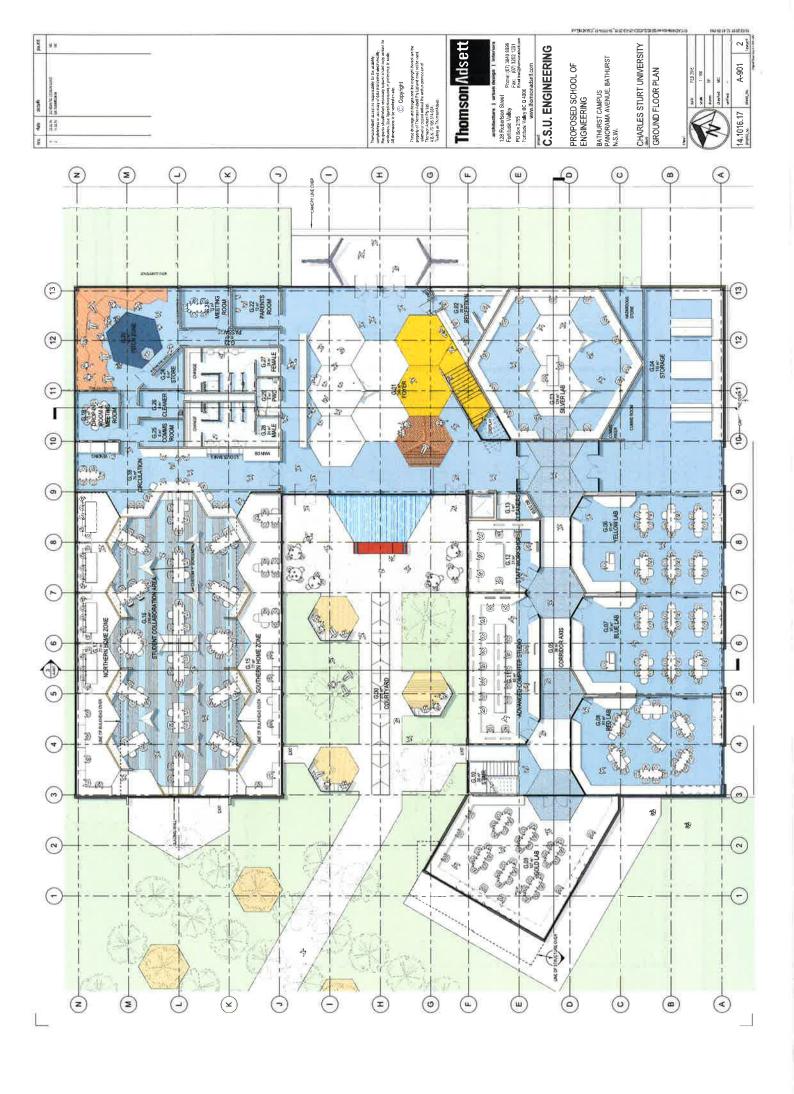


Dianella revoluta Spreading Flax Lilly

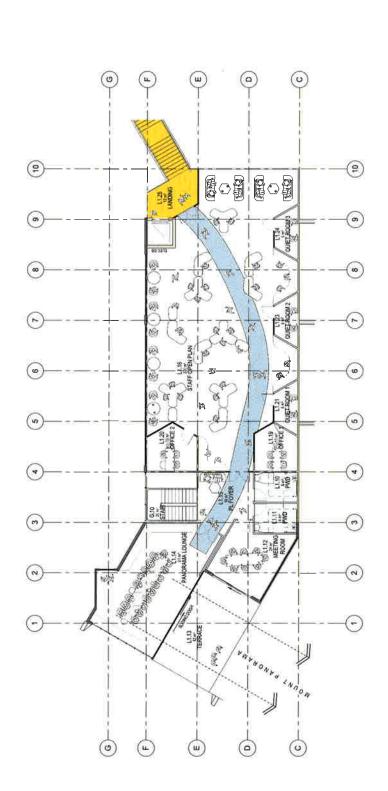


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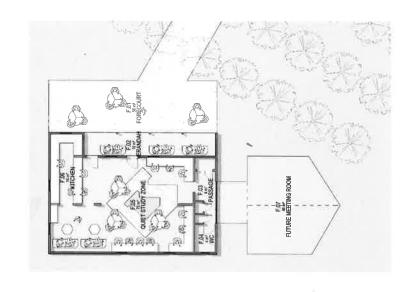


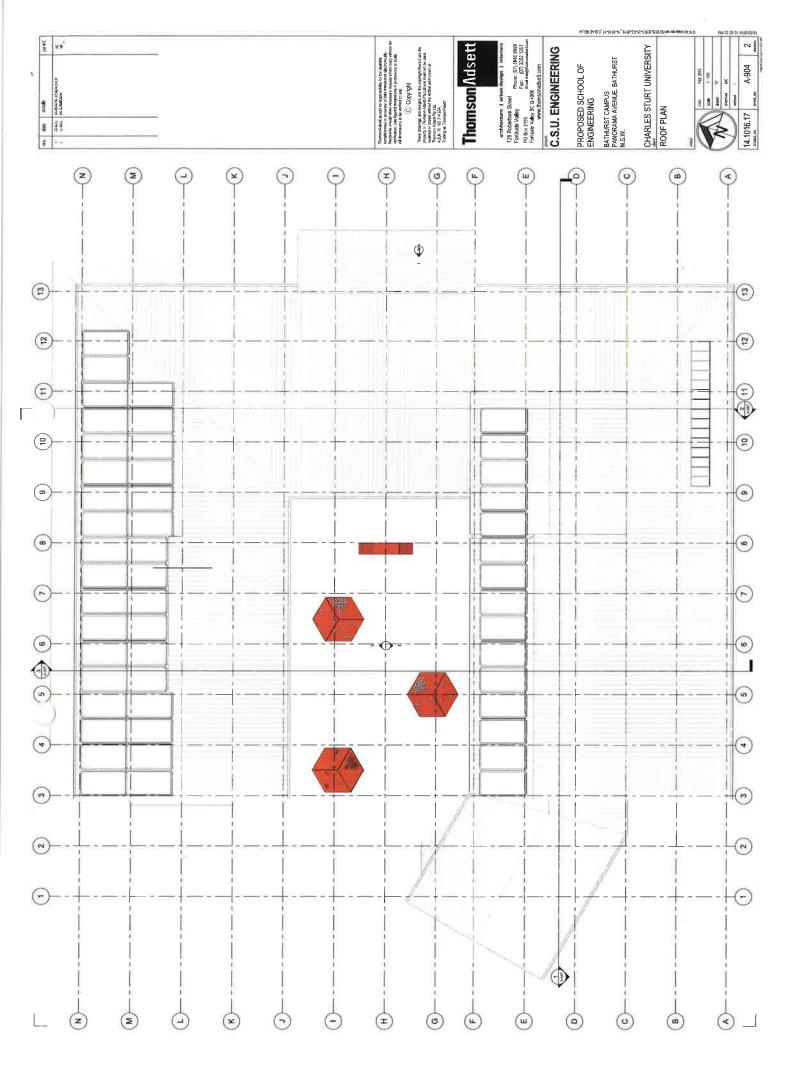


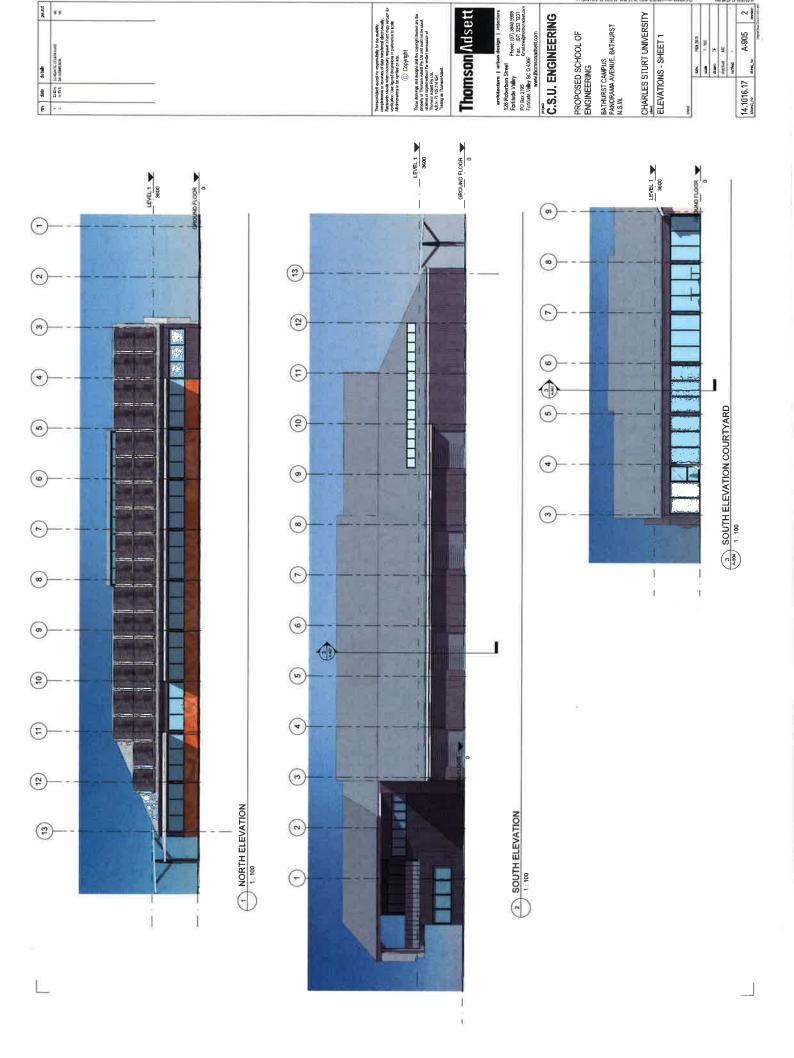
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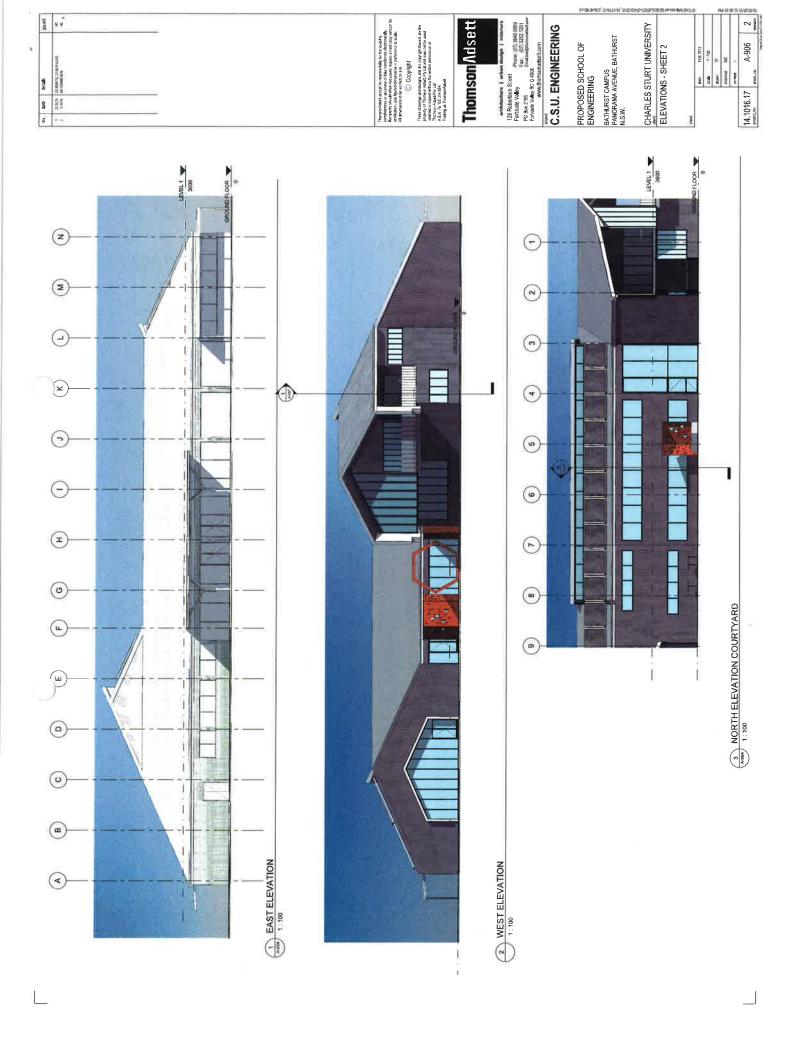


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Thomson Adsett

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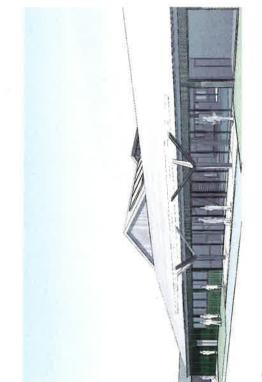
BATHURST CAMPUS PANORAMA AVENUE, BATHURST N.S.W.

CHARLES STURT UNIVERSITY SECTIONS SHEET 1

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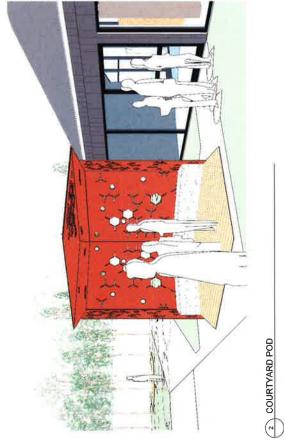


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CHARLES STURT UNIVERSITY
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4 COURTYARD POD FROM INSIDE

















Hazardous Materials Risk Assessment Charles Sturt University Maintenance / Store / Mailroom

Panorama Avenue, Bathurst NSW 2795



Site Reference: 1305

Our Reference: C107417: J127655

Date: July 2014

Noel Arnold & Associates Pty Ltd

Office 2/120 Smith Street Wollongong NSW 2500



www.noel-arnold.com.au





Report Information



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Report Prepared By	Report Reviewed By	Report Authorised By
E. server	Selection -	-Syl-
Robble Chiarello	Daniel Cottom	Scott McIlwain
09/07/2014	25/07/2014	31/07/2014
Propert Risk Consultant	Property Risk Consultant	Senior Hazardous Materials Consultant

Limitations - Overview

Please note there are limitations associated with this report due to a range of factors, including, but not limited to the scope of works, survey methodology and inaccessible areas. To ensure its contextual integrity, the report must be read in its entirety and should not be copied, distributed or referred to in part only.

This report is not adequate for the purposes of refurbishment or demolition works. This report must be reviewed prior to the commencement of such works and a more intrusive risk assessment undertaken to identify asbestos-containing materials which may be disturbed during building demolition or refurbishment works.

Refer to the Statement of Limitations for further details.

Refer to the Areas Not Accessed for further details.



Findings & Recommendations



Introduction

This report presents the findings of an Hazardous Materials Risk Assessment conducted for Charles Sturt University of the site located at Panorama Avenue Bathurst NSW 2795. The risk assessment was performed by Robbie Chiarello on 09/07/2014.

This report was performed in accordance with:

How to Manage and Control Asbestos in the Workplace: Code of Practice (Safe Work Australia, 2011) NSW Work Health & Safety Regulation 2011.

Scope Of Works

The scope of works for this project was as follows:

Refer to Methodology for full details.

Site Asbestos Risk Profile

The following table provides a summary of the Asbestos Risk Assessment for the site; item-specific findings are presented in the Hazardous Materials Register.

Building / Level		Number of Items by Risk I	Rating
	High	Medium	Low
Main Building - Level 01	0	0	3
	Totals 0	0	3

Summary of Identified Items

The following table provides a general overview of the types of hazardous materials identified on site; specific findings are presented in the Hazardous Materials Register.

Building / Level	Ast	estos	Н	azardous Materia	als
	Friable	Non Friable	SMF	PCBs	Lead Paint
Main Building - Level 01		YES	YES	YES	



Findings & Recommendations

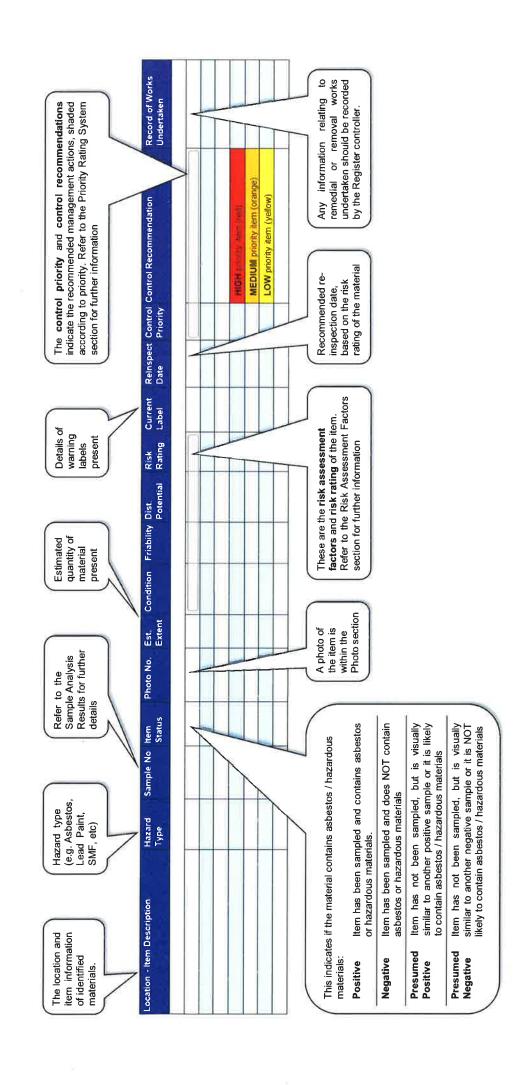


Recommendations



How to use this Register

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8 See Fice B

Hazardous Materials Register

Maintenance / Store / Mailroom

	Site Details							Building Details	etails					Audit Details
Full Address:	Panorama Avenue Bathurst NSW 2795	ISW 2795		Building Name:		Main Building				Number of Levels:	ivels:		Survey Date:	09-07-2014
Property ID: 1305				Est. Building Size:		1000 m²				Est. Building Age:	Г	1960s	Inspected By:	Robbie Chiarello
Client Name: Charles Stu	Charles Sturt University			Roof Type:	-	Metal				Construction Type:		Brick, Concrete, Metal	Сомрапу:	Noel Arnold & Associates
Location - Item Description	Hazard Type	Sample No	Item Status Photo No.	Photo No.	Est	Condition Friability	Friability	Dist Potential	Risk Raling	Current Label	Reinspect Date	Control Co Priority	Reinspect Control Control Recommendation Date Priority	Record of Works Undertaken
Main Building - Exterior - Level 01														
Maintenance Workshop - Southwest Door & Frame - Upper & Lower Paint	Lead (Paint)	Lead (Paint) J127655-1305-LC Negative -01	Negative											
System/s														
Supply and Transport Section - Southeast Asbestos Expansion Joint - Bituminous Material	ast Asbestos	J127655-1305-02 Negative	Negative											
Surrounding - Throughout Awning - Fibre Cement Sheeting	Asbestos	J127655-1305-01	Positive	J127655-1305- 162	80 m²	Fair	Non Friable	Low	Low	Not Labelled	Not Labelled 09-07-2019	P4	Maintain in current condition, label and incorporate into an HMMP. Remove by licensed asbestos	abel

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Confirm status and maintain in good condition and incorporate into a HMMP. Remove under controlled conditions and dispose of in accordance with environmental protection requirements prior to demolition or refurbishment.

Good

15 Unit/s

J127655-1305-163

Presumed Positive

Surrounding - Throughout Fluorescent Light Fitting - Double Tube -Capacitor

Main Building - Interior - Level 01														
_	SMF		Presumed	J127655-1305- 1 Unit/s Good	1 Unit/s	Good	Bonded						Maintain in good condition and	
Boiler Insulation - Insulation Material			Positive	165			(SMF)						incorporate into a HMMP. Remove	
													under controlled conditions prior to	
													demolition or refurbishment.	
Maintenance Section - Kitchen -	PCB		Presumed	J127655-1305-	6 Unit/s	Good							Confirm status and maintain in good	
Throughout			Positive	166									condition and incorporate into a	
Fluorescent Light Fitting - Double Tube -													HMMP. Remove under controlled	
Capacitor													conditions and dispose of in	
													accordance with environmental	
													protection requirements prior to	
													demolition or refurbishment.	
Maintenance Section Toilets - Throughout	PCB		Presumed	J127655-1305- 3 Unit/s		Good							Confirm status and maintain in good	
Fluorescent Light Fitting - Single Tube -			Positive	167									condition and incorporate into a	
Capacitor													HMMP. Remove under controlled	
													conditions and dispose of in	
													accordance with environmental	
													protection requirements prior to	
													demolition or refurbishment.	
Maintenance Workshop - South	Asbestos	Not Sampled	Presumed	J127655-1305- 1 m ²		Good	Non Friable Low	Low	Low	Suspect	09-07-2019 P4	P4	Confirm status, label, maintain in	
Switchboard Backing - Compressed		Live	Positive	169									current condition and incorporate	
Bituminous Electrical Panel													into an HMMP. Remove by licensed	
1													asbestos contractor prior to	
													demolition or refurbishment.	



Hazardous Materials Register

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Maintenance / Store / Mailroom

	Site	Site Details		11 11					Building Details	ails				Y	Audit Details
12	Panorama Avenue Bathurst NSW 2795	ue Bathurst N	SW 2795		Building Name:		Main Building				Number of Levels:	evels:		Survey Date:	09-07-2014
	1305				Est. Building Size:		1000 m²				Est. Building Age:		1960s	Inspected By:	Robbie Chiarello
Client Name: CP	Charles Sturt University	iversity			Roof Type:		Metal				Construction Type:		Brick, Concrete, Metal	te, Company:	Noel Amold & Associates
Location - Item Description		Hazard Type	Sample No	Item Status	Photo No	Est Extent	Condition	Friability	Dist Potential	Risk Rating	Current Label	Reinspect Date	Control	Control Recommendation	Record of Works Undertaken
Maintenance Workshop - Throughout Fluorescent Light Fitting - Double Tube - Capacitor		PCB		Presumed Positive	J127655-1305- 168	30 Unit/s				7				Confirm status and maintain in good condition and incorporate into a HMMP. Remove under controlled conditions and dispose of in accordance with environmental protection requirements prior to demolition or refurbishment.	8
Supply and Transport - Kitchen - South Boiler Insulation - Insulation Material		SMF		Presumed Positive	J127655-1305- 1 Unit/s	1 Unit/s	Good	Bonded (SMF)						Maintain in good condition and incorporate into a HMMP. Remove under controlled conditions prior to demolition or refurbishment.	ove ir to
Supply and Transport - Kitchen - South Sink Pad - Bituminous Material Supply and Transport - Kitchen	en - South	Asbestos	J127655-1305-03 Negative	Negative											
Supply and transport - Nichk Throughout Floor Covering - Sheet Vinyl	<u> </u>	Aspesias	3127055-1305-04	Negative				*2							
Supply and Transport - Office Area - Northwest Switchboard Backing - Compressed Bituminous Electrical Panel	e Area -	Asbestos	Not Sampled Live	Presumed Positive	J127655-1305- 174	1π²	poog	Non Friable	Low	Low	Suspect	09-07-2019	3 P4	Confirm status, label, maintain in current condition and incorporate into an HMMIP. Remove by licensed asbestos contrador prior to denolition or rehubishment.	te nsed
Supply and Transport Section - Throughout Fluorescent Light Fitting - Double Tube - Capacitor	n - vuble Tube -	РСВ		Presumed Positive	J127655-1305- 170	50 Unit/s	Good							Confirm status and maintain in good condition and incorporate into a HMMP. Remove under controlled conditions and dispose of in accordance with environmental protection requirements prior to demolition or returnshment.	poob





Areas Not Accessed

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It is noted that Asbestos Materials may be contained within or behind those areas identified in the below table: Areas Not Accessed. Caution should be exercised when accessing these areas, particularly in relation to potential disturbance of the building fabric or concealed spaces.

1 of 1 Building

Comments															
Not Accessed	Main Building	All	All	All	All	Ѕоте		All	All	All	All	All	All	All	IIV
Area / Item	The state of the s	Behind ceramic wall tiles throughout	Building facade fixing brackets	Culverts and floor trenches or tunnels	Fire door cores	Gaskets, mastics & sealants to pipework, ductwork, mechanical equipment &	construction/expansion joints	Height restricted areas of site and ceiling where safe lifting platforms were not provided	Inside mechanical equipment	Lift shaft, landing doors and cabin fittings and doors all levels	Motor rooms of dumb waiters	Wall cavities	Waterproof membranes	Within air conditioning re-heat boxes	Within internal walls nartitioning



Photographs

Maintenance / Store / Mailroom 09-07-2014



Photo No: J127655-1305-162
Result: Asbestos - Positive
Building/Level: Main Building-Level 01
Room/Location: Surrounding-Throughout
Feature/Material: Awning-Fibre Cement Sheeting



Photo No: J127655-1305-163
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Surrounding-Throughout
Feature/Material: Fluorescent Light Fitting - Double Tube-Capacitor



Photo No: J127655-1305-165
Result: SMF - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Maintenance Section - Kitchen-North
Feature/Material: Boiler Insulation-Insulation Material



Photo No: J127655-1305-166
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Maintenance Section - Kitchen-Throughout
Feature/Material: Fluorescent Light Fitting - Double Tube-Capacitor



Photo No: J127655-1305-167
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Maintenance Section Toilets-Throughout
Feature/Material: Fluorescent Light Fitting - Single Tube-Capacitor



Photo No: J127655-1305-169
Result: Asbestos - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Maintenance Workshop-South
Feature/Material: Switchboard Backing-Compressed Bituminous
Electrical Panel



PhotographsMaintenance / Store / Mailroom 09-07-2014





Photo No: J127655-1305-168
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Maintenance Workshop-Throughout
Feature/Material: Fluorescent Light Fitting - Double Tube-Capacitor



Photo No: J127655-1305-171
Result: SMF - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Supply and Transport - Kitchen-South
Feature/Material: Boiler Insulation-Insulation Material



Photo No: J127655-1305-174
Result: Asbestos - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Supply and Transport - Office Area-Northwest
Feature/Material: Switchboard Backing-Compressed Bituminous
Electrical Panel



Photo No: J127655-1305-170
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Supply and Transport Section-Throughout
Feature/Material: Fluorescent Light Fitting - Double Tube-Capacitor



Sample Analysis Results

Maintenance / Store / Mailroom 09-07-2014





Risk Management Services

NOFF ARNOLD B ASSOCIATES PTY LTD AJD ONE TRUTH A DTI A ONE TRY OF Office 2, 120 Smith Street, Wellompong, NSW 2500 Australia Phone; (021 4298 2600 Faxt (02) 9889 1811

Fmail: wolfongong@noet-arnold.com.au www.noet-arnold.com.au

Tuesday, 22/07/2014

Our ref: C107417:J127655-1305

Ken Simpson Charles Sturt University Boorooma Street WAGGA WAGGA NSW 2650

Dear Ken,

Re: Asbestos Identification Analysis - Maintenance Store, Charles Sturt University, Panorama Avenue, Bathurst NSW 2795

This letter presents the results of asbestos fibre identification analysis performed on 4 samples collected by Robbie Chiarello of Noel Arnold & Associates Pty Ltd on Wednesday, 09 July 2014. The samples were collected from Maintenance Store, Charles Sturt University, Panorama Avenue, Bathurst NSW 2795.

All sample analysis was performed using polarised light microscopy, including dispersion staining in our Wollongong Laboratory in accordance with Noel Arnold and Associates Pty Ltd Test Method NALAB 302 "Asbestos Identification Analysis" and following the guidelines of Australian Standard AS4964-2004.

The samples will be kept for six months and then disposed of, unless otherwise directed.

The results of the asbestos identification analysis are presented in the appended table.

Should you require further information please contact Robbie Chiarello.

Yours sincerely

NOEL ARNOLD & ASSOCIATES PTY LTD

Daniel Cottom: Approved Identifier

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Daniel Cottom : Approved Signatory



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Corporate Site No. 5450, Site No. 21836 Wollangong Laboratory.

The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/national standards.

Accredited for compliance with ISO/IEC 17020, Corporate Site No. 18349.

■ Melbourne ■ Sydney ■ Canberra ■ Brisbane

Practical Solutions

J127655-1305 CSU Panorama Ave Bathurst ID 2014-07-09

1 of 2



Sample Analysis Results Maintenance / Store / Mailroom 09-07-2014



Wollongong Laboratory Sample Analysis Results



Tuesday, 22/07/2014 Our ref: C107417:J127655-1305

Site	• Location:	Maintenance Store, Charles Sturt University, Panorama Avenue, Bathurst	NSW 2795				
	Sample ID	Sample Location/Description/Weight or Size	Analysis Result				
	J127655- 1305	Main Building - Level 01 - Surrounding - Throughout - Awning - Fibre Cement Sheeting	Chrysotile (white asbestos)				
1	01	Cream painted gold-grey fibre cement sheet material	Organic Fibres				
		~ 38 x 17 x 4 mm					
	J127655- 1305	Main Building - Level 01 - Supply and Transport Section - Southeast - Expansion Joint - Bituminous Material	No Asbestos Detected				
2	02	Black-brown bituminous organic fibrous mastic material	Organic Fibres				
		~ 30 x 6 x 4 mm					
	J127655- 1305	Main Building - Level 01 - Supply and Transport - Kitchen - South - Sink Pad - Bituminous Material	No Asbestos Detected				
3	03	Black-brown bituminous organic fibrous sheet material	Organic Fibres				
		~ 20 x 16 x 2 mm					
	J127655- 1305	Main Building - Level 01 - Supply and Transport - Kitchen - Throughout - Floor Covering - Sheet Vinyl	No Asbestos Detected				
4	04	Brown brittle vinyl material and associated amber adhesive material	Organic Fibres				
		~ 26 x 22 x 2 mm					

^{*} Shaded row with bolded text indicates sample contains a positive result for asbestos.

J127655-1305 CSU Panorama Ave Bathurst ID 2014-07-09

2 of 2



Methodology



Asbestos



Risk Assessment Factors



Risk Assessment Factors - Asbestos

The presence of asbestos-containing materials (ACMs) does not necessarily constitute an exposure risk. However, if the ACM is sufficiently disturbed to cause the release of airborne respirable fibres, then an exposure risk may be posed to individuals. The assessment of the exposure risk posed by ACMs assesses (a) the material condition and friability, and (b) the disturbance potential.

Material Condition

The assessment factors for material condition include:

- · Evidence of physical deterioration and/or water damage.
- · Degree of friability of the ACM.
- · Surface treatment, lining or coating (if present).
- Likelihood to sustain damage or deterioration in its current location and state.

Physical Condition and Damage

The condition of the ACM is rated as either being good, fair or poor.

Good refers to an ACM that has not been damaged or has not deteriorated **Fair** refers to an ACM having suffered minor cracking or de-surfacing.

Poor describes an ACM which has been damaged or its condition has deteriorated over time.

Friability and Surface Treatment

The degree of friability of ACMs describes the ease of which the material can be crumbled, and hence to release fibres, and takes into account surface treatment.

Friable asbestos

(e.g. sprayed asbestos beam insulation (limpet), pipe lagging) can be easily crumbled and is more hazardous than non-friable asbestos products.

Non-friable asbestos

also referred to as bonded asbestos, typically comprises asbestos fibres tightly bound in a stable non-asbestos matrix or impregnated with a coating. Examples of non-friable asbestos products include asbestos cement materials (sheeting, pipes etc), asbestos containing vinyl floor tiles, compressed gaskets and electrical backing boards.

Disturbance Potential

In order to assess the disturbance potential, the following factors are considered:

- Requirement for access for either building work or maintenance operations.
- Likelihood and frequency of disturbance of the ACM.
- · Accessibility of the ACM.
- Proximity of the ACM to air plenums and direct air stream.
- · Quantity and exposed surface areas of ACM.
- · Normal use and activity in area, and numbers of persons in vicinity of ACM.

These factors are used to determine (i) the potential for fibre generation, and (ii) the potential for exposure to person/s, as a rating of low, medium or high disturbance potential:

Risk Status

The risk factors described previously are used to rank the asbestos exposure risk posed by the presence of the ACM.

- A low risk rating describes ACMs that pose a low exposure risk to personnel, employees and the general public
 providing they stay in a stable condition, for example asbestos materials that are in good condition and have low
 accessibility.
- · A medium risk rating applies to ACMs that pose an increased exposure risk to people in the area.
- A high risk rating applies to ACMs that pose a higher exposure risk to personnel or the public in the vicinity of the material due to their condition or disturbance potential.



Priority Rating System



Priority Actions

The following priority rating system is adopted to assist in the programming and budgeting for the control of asbestos risk identified in the assessment.

		Restrict Access to Area &
Priority 1 (P1)	Action:	Organise Abatement Works as soon as practicable &
		Manage any remaining materials as part of an AMP

Area has ACMs, which are either damaged or are being exposed via continual disturbance. Due to these conditions, there is an increased potential for exposure and/or transfer of the material to other locations with continued unrestricted use of the area. Representative asbestos fibre monitoring should be conducted in the area during normal building operation where recommended. Prompt abatement of the asbestos hazard is recommended.

As an interim, restrict access.

Priority 2 (P2)	Action:	Organise Remedial Works in the next few months & Manage any remaining materials as part of an AMP

Area has ACMs with a potential for disturbance due to the following conditions:

- Material has been disturbed or damaged and its current condition, while not posing an immediate hazard, is unstable.
- 2. The material is accessible and when disturbed, can present a short-term exposure risk.
- Demolition, renovation, refurbishment, maintenance, modification or new installations, involving air-handling systems, ceilings, lighting, fire safety systems or floor layout.

Appropriate abatement measures should be taken as soon as practicable. A negligible exposure risk exists if materials remain under the control of an Asbestos Management Plan (AMP).

Priority	3 (P3)	Action:	No Short-Term Remedial Works Required Review periodically and Manage as part of an AMP
----------	--------	---------	---

Area has ACMs, where:

- 1. The condition of friable ACMs is currently stable and has low potential of being disturbed.
- The ACM is currently in a non-friable form, may have slight damage, but does not present an exposure risk unless
 cut, drilled, sanded or otherwise abraded.

This presents a low risk of exposure where the materials are left undisturbed under the control of an Asbestos Management Plan (AMP). Defer any major action unless materials are to be disturbed as a result of maintenance, refurbishment or demolition operations.

Priority 4 (P4)	Action:	No Short-Term Remedial Works Required Review periodically and Manage as part of an AMP
-----------------	---------	--

Area has ACMs in a non-friable form and in good condition. It is unlikely that the material can be disturbed under normal circumstances and can be safely subjected to normal traffic. Even if it were subjected to minor disturbance the material poses a negligible health risk. These materials should be maintained in good condition and their condition monitored during subsequent reviews. As with any asbestos materials, these materials must be removed prior to renovations that may impact on the materials.



Asbestos Management Requirements



The Occupational Health and Safety Regulations of most Australian states refer to a Code of Practice for guidance on identification and management of asbestos materials (ACMs) in workplaces. The requirements are summarised below.

Asbestos Management Plan (AMP)

An AMP should be developed for the site as per the Code of Practice. The AMP should be a broad ranging document detailing the following information:

- · The site's asbestos material register.
- · Responsibilities for relevant persons in the management of ACMs.
- Mechanisms for communicating the location, type and condition of ACMs, the risks posed by these and the control
 measures adopted to minimise these risks.
- · Training arrangements for workers and contractors.
- · A Procedure for reviewing and updating the AMP and the register.
- Air Monitoring and clearance inspection arrangements.
- Timetable for action to review risk assessments and undertake asbestos management activities.
- Records of any maintenance or service work conducted on ACMs, including clearance certificates for removed items.

Updates to Register, AMP and Risk Assessments

The asbestos register and the AMP should be reviewed (via visual inspection by a competent person) and updated at least every 5 years or earlier where a risk assessment indicates the need for a re-assessment or if any ACMs have been removed or updated as per the requirements of the Code of Practice.

Risk assessments should be reviewed regularly and as specified by the Code of Practice, particularly when there is evidence that the risk assessment is no longer valid, control measures are shown to be ineffective or there is a significant change planned for the workplace or work practices or procedures relevant to the risk assessment; or there is a change in ACM condition or ACMs have since been enclosed, encapsulated or removed.

Labelling

All confirmed or presumed ACMs (or their enclosures) should be labelled to identify the material as asbestos-containing or presumed asbestos-containing and to warn that the items should not be disturbed as per the requirements of the Code of Practice.

Training

Staff and site personnel must be provided with Asbestos Awareness training in accordance with the Code of Practice. Training should inform staff how to work safely alongside asbestos by instructing them of:

- 1. The health risks associated with asbestos.
- 2. Their roles and responsibilities under the AMP.
- 3. Procedures for managing asbestos on-site.
- 4. The correct use of control measures and safe work methods to minimise the risks from asbestos.

Refurbishment / Demolition Requirements

This audit is limited by the Scope of Works and Methodology outlined within this report.

Generally, a new audit or revised audit is required prior to any planned refurbishment, alteration, demotion or upgrade works that may disturb ACMs at the site in accordance with Australia Standard AS 2601: The Demolition of Structures and Demolition Work Code of Practice (Safe Work Australia 2013).

Removal of Asbestos Materials

Any works involving the removal of ACMs should be undertaken by a Licensed Asbestos Removal Contractor (LARC). In addition, an appropriately qualified independent Asbestos Consultant / Occupational Hygienist should undertake asbestos fibre air monitoring during/after works, and issue a Clearance Certificate to validate the works have been undertaken safely.

All works should be conducted in accordance with legislative requirements and following the requirements of the document 'How to Safely Remove Asbestos: Code of Practice (Safe Work Australia, 2011)'.



Hazardous Material Management Requirements



The Occupational Health and Safety Regulations of most Australian states have requirements for the identification and control of risks within workplaces. These broad requirements extends to the hazardous materials that may be present within buildings at the workplace. The requirements for management of hazardous materials is summarised below.

Synthetic Mineral Fibre (SMF)

Synthetic Mineral Fibre (SMF) is a man-made insulation material used extensively in industrial, commercial and residential sites as fire rating, reinforcement in construction materials and as acoustic and thermal insulators. Types of SMF materials include fibreglass, rockwool, ceramic fibres and continuous glass filaments.

There are two basic forms of Synthetic Mineral Fibre (SMF) insulation, bonded and un-bonded.

- Bonded SMF is where adhesives, binders or cements have been applied to the SMF before delivery and the SMF product has a specific shape.
- Un-bonded SMF has no adhesives, binders or cements and the SMF is loose material packed into a package.

Exposure to SMF can result in short-term skin, eye and respiratory irritation. SMF is also classified as a possible human carcinogen with a possible increase in risk in lung cancer from long-term exposure.

The use of and the safe removal of SMF materials should be conducted in accordance with the National Code of Practice for the safe use of Synthetic Mineral Fibres [NOHSC: 2006 (1990)].

Polychlorinated Biphenyls (PCBs)

Polychlorinated Biphenyls (PCBs) are a toxic organochlorine used as insulating fluids in electrical equipment such as transformers, capacitors and fluorescent light ballasts that were largely banned from importation in Australia in the 1970s.

PCBs are listed as a probable human carcinogen and should be managed in accordance with the ANZECC Polychlorinated Biphenyls Management Plan, 2003. The handling and disposal of PCBs must be performed in accordance with applicable state and commonwealth environmental protection laws as scheduled PCB waste.

The following Personal Protective Equipment (PPE) should be worn when handling items containing or suspected to contain PCBs - nitrile gloves, eye protection, and disposable overalls. The PPE should be worn when removing capacitors from light fittings in case PCBs leak from the capacitor housing.

Lead Paint

Lead paint, as defined by the Australian Standard "AS4361.2: 1998 Guide to Lead Paint Management; Part 2: Residential and Commercial Buildings", is that which contains in excess of 1% Lead by weight.

Lead carbonate (white lead) was once the main white pigment in paints for houses and public buildings. Paint with lead pigment was manufactured up until the late 1960's, and in 1969 the National Health and Medical Research Council's Uniform Paint Standard was amended to restrict lead content in domestic paint.

Lead in any form is toxic to humans when ingested or inhaled, with repeated transmission of particles cumulating in lead poisoning. Lead paint is assessed based on two potential routes of exposure. Firstly by the likelihood of inhalation or ingestion by people working in the vicinity of the paint and secondly by the condition of the paint. Paint that is flaking or in poor condition is more likely to be ingested than paint that is in a good, stable condition.

Any work relating to lead paint should be conducted in accordance with the 'National Code of Practice for the Control and Safe Use of Inorganic Lead at Work [NOHSC: 2015 (1994)]'.



Statement Of Limitations



This report has been prepared in accordance with the agreement between Charles Sturt University and Noel Arnold & Associates.

Within the limitations of the agreed upon scope of services, this work has been undertaken and performed in a professional manner, in accordance with generally accepted practices, using a degree of skill and care ordinarily exercised by members of its profession and consulting practice. No other warranty, expressed or implied, is made.

This report is solely for the use of Charles Sturt University and any reliance on this report by third parties shall be at such party's sole risk and may not contain sufficient information for purposes of other parties or for other uses. This report shall only be presented in full and may not be used to support any other objective than those set out in the report, except where written approval with comments are provided by Noel Arnold & Associates.

This report relates only to the identification of asbestos containing materials used in the construction of the building and does not include the identification of dangerous goods or hazardous substances in the form of chemicals used, stored or manufactured within the building or plant.

The following should also be noted:

While the survey has attempted to locate the asbestos containing materials within the site it should be noted that the review was a visual inspection and a limited sampling program was conducted and/or the analysis results of the previous report were used. Representative samples of suspect asbestos materials were collected for analysis. Other asbestos materials of similar appearance are assumed to have a similar content.

Not all suspected asbestos materials were sampled. Only those asbestos materials that were physically accessible could be located and identified. Therefore it is possible that asbestos materials, which may be concealed within inaccessible areas/voids, may not have been located during the audit. Such inaccessible areas fall into a number of categories.

- (a) Locations behind locked doors;
- (b) Inset ceilings or wall cavities;
- (c) Those areas accessible only by dismantling equipment or performing minor localised demolition works;
- (d) Service shafts, ducts etc., concealed within the building structure;
- (e) Energised services, gas, electrical, pressurised vessel and chemical lines;
- (f) Voids or internal areas of machinery, plant, equipment, air-conditioning ducts etc;
- (g) Totally inaccessible areas such as voids and cavities created and intimately concealed within the building structure. These voids are only accessible during major demolition works;
 - (h) Height restricted areas
 - (i) Areas deemed unsafe or hazardous at time of audit.

In addition to areas that were not accessible, the possible presence of hazardous building materials may not have been assessed because it was not considered practicable as:

- 1. It would require unnecessary dismantling of equipment; and/or
- 2. It was considered disruptive to the normal operations of the building; and/or
- 3. It may have caused unnecessary damage to equipment, furnishings or surfaces; and/or
- 4. The hazardous material was not considered to represent a significant exposure risk; and
- 5. The time taken to determine the presence of the hazardous building material was considered prohibitive.

Only minor destructive auditing and sampling techniques were employed to gain access to those areas documented in the Hazardous Materials Register. Consequently, without substantial demolition of the building, it is not possible to guarantee that every source of hazardous material has been detected.

During the course of normal site works care should be exercised when entering any previously inaccessible areas or areas mentioned above and it is imperative that work cease pending further sampling if materials suspected of containing asbestos or unknown materials are encountered. Therefore during any refurbishment or demolition works, further investigations and assessment may be required should any suspect material be observed in previously inaccessible areas or areas not fully inspected previously, i.e. carpeted floors.

This report is not intended to be used for the purposes of tendering, programming of works, refurbishment works or demolition works unless used in conjunction with a specification detailing the extent of the works. To ensure its contextual integrity, the report must be read in its entirety and should not be copied, distributed or referred to in part only.

















Hazardous Materials Risk Assessment Charles Sturt University Facilities Management

Panorama Avenue, Bathurst NSW 2795



Site Reference: 1306

Our Reference: C107417: J127655

Date: July 2014

Noel Arnold & Associates Pty Ltd

Office 2/120 Smith Street
Wollongong NSW 2500
(02) 4298 2600



www.noel-arnold.com.au





Report Information



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Report Prepared By	Report Reviewed By	Report Authorised By
1	Aldelm -	Soft
Robbie Chiarello	Daniel Cottom	Scott McIlwain
09/07/2014	25/07/2014	31/07/2014
Propert Risk Consultant	Property Risk Consultant	Senior Hazardous Materials Consultant

Limitations - Overview

Please note there are limitations associated with this report due to a range of factors, including, but not limited to the scope of works, survey methodology and inaccessible areas. To ensure its contextual integrity, the report must be read in its entirety and should not be copied, distributed or referred to in part only.

This report is not adequate for the purposes of refurbishment or demolition works. This report must be reviewed prior to the commencement of such works and a more intrusive risk assessment undertaken to identify asbestos-containing materials which may be disturbed during building demolition or refurbishment works.

Refer to the Statement of Limitations for further details.

Refer to the Areas Not Accessed for further details.



Findings & Recommendations



Introduction

This report presents the findings of an Hazardous Materials Risk Assessment conducted for Charles Sturt University of the site located at Panorama Avenue Bathurst NSW 2795. The risk assessment was performed by Robbie Chiarello on 09/07/2014.

This report was performed in accordance with:

How to Manage and Control Asbestos in the Workplace: Code of Practice (Safe Work Australia, 2011) NSW Work Health & Safety Regulation 2011.

Scope Of Works

The scope of works for this project was as follows:

Refer to Methodology for full details.

Site Asbestos Risk Profile

The following table provides a summary of the Asbestos Risk Assessment for the site; item-specific findings are presented in the Hazardous Materials Register.

Building / Level	Num	nber of Items by Risk R	ating
	High	Medium	Low
Back Shed - Southwest - Level 01	0	0	1
Main Building - Level 01	0	0	1
	Totals 0	0	2

Summary of Identified Items

The following table provides a general overview of the types of hazardous materials identified on site; specific findings are presented in the Hazardous Materials Register.

Building / Level	Ast	estos	-	lazardous Materia	ıls
	Friable	Non Friable	SMF	PCBs	Lead Paint
Back Shed - Southwest - Level 01		YES			YES
Main Building - Level 01	Ĭ	YES		YES	YES



Findings & Recommendations

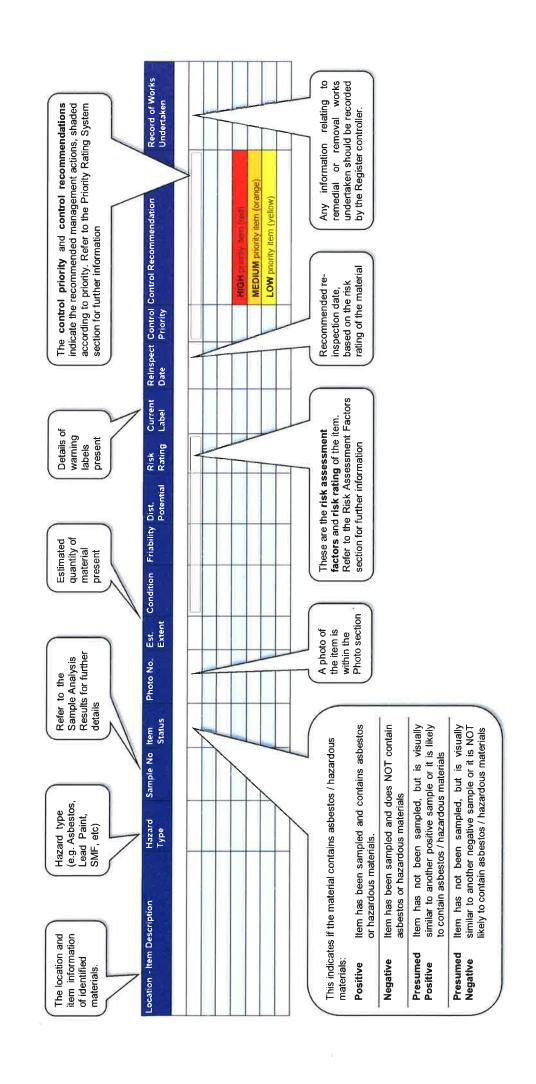


Recommendations



How to use this Register

လ Greencap







Hazardous Materials Register

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Facilities Management

	Sift	Site Details							Building Details	tails				A	Audit Details
Full Address:	Panorama Avenue Bathurst NSW 2795	ue Bathurst N	SW 2795		Building Name:		Back Shed - Southwest	uthwest			Number of Levels:	reis: 1		Survey Date:	09-07-2014
Property ID:	1306				Est. Building Size:		5 ш²				Est. Building Age:		1960s	Inspected By:	Robbie Chiarello
Client Name:	Charles Sturt University	iversity			Roof Type:	1	Metal				Construction Type:	П	Fibre Cement	Company:	Noel Arnold & Associates
Location - Item Description		Hazard Type	Sample No	Item Status Photo No.	Photo No	Est	Condition	Friability	Dist Potential	Risk Rating	Current Label	Reinspect Date	Control Priority	Reinspect Control Control Recommendation Date Priority	Record of Works Undertaken
Back Shed - Southwest - Exterior - Level 01	- Exterior - Level	01													
Exterior - Northeast		Lead (Paint)	Lead (Paint) J127655-1306-LC Positive	Positive	J127655-1306- 2 m	2 m²	Poor							Access to flaking/ damaged paint	12
Door - Upper & Lower Paint System/s	nt System/s		\$		182									surfaces should be restricted.	
														Engage an appropriately	
														experienced contractor to stabilise	as a
														or remove this frem under controlled	pallo
														conditions,	
Surrounding - Throughout		Asbestos	J127655-1306-03 Positive	Positive	J127655-1306-	10 m²	Good	Non Friable	Low	Low	Not Labelled 09-07-2019	09-07-2019	P4	Maintain in current condition, label	lec lec
Wall - Fibre Cement Sheeting	ting				183									and incorporate into an HMMP.	
														Remove by licensed asbestos	
														contractor prior to demolition or	
														refurbishment.	



Hazardous Materials Register

Scene greencap

Facilities Management

	Site	Site Details							Building Details	Is		Ì		V	Audit Details
Full Address:	Panorama Avenue Bathurst NSW 2795	e Bathurst N:	SW 2795		Building Name:		Main Building				Number of Levels:	rels:		Survey Date:	09-07-2014
	1306				Est. Building Size:		250 m²				Est. Building Age:		1970s	Inspected By:	Robbie Chiarello
Client Name:	Charles Sturt University	iversity			Roof Type:	П	Metal				Construction Type:	П	Timber & Block	П	Noel Arnold & Associates
Location - Item Description		Hazard Type	Sample No	Item Status	Photo No.	Est	Condition	Friability	Dist	Risk	Current	Reinspect	Control	Control Recommendation	Record of Works
Main Building - Exterior - Level 01	Level 01														
Exterior - Northeast Wall - Fibre Cernent Sheeting		Asbestos	J127655-1306-01 Positive		J127655-1306- 176	² ⊞²	Good	Non Friable	Low	Low	Not Labelled 09-07-2019	09-07-2019	P4	Maintain in current condition, label and incorporate into an HMMP. Remove by licensed asbestos contractor prior to demolition or refunishment.	lac
Exterior - Southwest Switchboard Backing - Compressed Bituminous Electrical Panel - Bakelite backing		Asbestos	Not Sampled Live	Presumed Negative											
Surrounding - Throughout Fluorescent Light Fitting - Single Tube - Capacitor		PCB		Presumed Positive	J127655-1306- 177	4 Unit/s	Good							Confirm status and maintain in good condition and incorporate into a HMMP. Remove under controlled conditions and dispose of in accordance with environmental protection requirements priot to demolition or refurbishment.	p. p.
Surrounding - Throughout Timber Work - Upper & Lower Paint System/s - Red and white		Lead (Paint)	J127655-1306-LC -01	Negative											
Main Building - Interior - Level 01	evel 01														
All areas - Throughout Door & Frame - Upper & Lower Paint System/s		(Paint)	J127655-1306-LC Negative -03	Negative											
All areas - Throughout Fluorescent Light Fitting - Double Tube - Capacitor		PCB	>	Presumed Positive	J127655-1306- 178	10 Unit/s	Pooo							Confirm status and maintain in good condition and incorporate into a HMMP. Remove under controlled conditions and dispose of in accordance with environmental protection requirements prior to demolition or returbishment.	p. poot
All areas - Throughout Fluorescent Light Fitting - Single Tube - Capacitor		PCB		Presumed Positive	J127655-1306- 179	10 Unit/s	Good							Confirm status and maintain in good condition and incorporate into a HMMP. Remove under controlled conditions and dispose of in accordance with environmental protection requirements prior to demolition or returbishment.	poor
All areas - Throughout Window Frame - Upper & Lower Paint System/s		Lead (Paint)	J127655-1306-LC -02	Positive	J127655-1306- 180	50 m²	Good							Maintain in good condition and incorporate into a HMMP. Remove under controlled conditions prior to demolition or refurbishment.	vve
Kitchen - West Sink Pad - Bituminous Material		Asbestos	J127655-1306-02	Negative											







Areas Not Accessed

It is noted that Asbestos Materials may be contained within or behind those areas identified in the below table: Areas Not Accessed. Caution should be exercised when accessing these areas, particularly in relation to potential disturbance of the building fabric or concealed spaces.

1 - 2 of 2 Buildings

Not Accessed	CC
Back Shed - Southwest	Main Building



Photographs

Facilities Management 09-07-2014



Photo No: J127655-1306-182
Result: Lead (Paint) - Positive
Building/Level: Back Shed - Southwest-Level 01
Room/Location: Exterior-Northeast
Feature/Material: Door-Upper & Lower Paint System/s



Photo No: J127655-1306-183
Result: Asbestos - Positive
Building/Level: Back Shed - Southwest-Level 01
Room/Location: Surrounding-Throughout
Feature/Material: Wall-Fibre Cement Sheeting



Photo No: J127655-1306-176
Result: Asbestos - Positive
Building/Level: Main Building-Level 01
Room/Location: Exterior-Northeast
Feature/Material: Wall-Fibre Cement Sheeting



Photo No: J127655-1306-177
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: Surrounding-Throughout
Feature/Material: Fluorescent Light Fitting - Single Tube-Capacitor



Photo No: J127655-1306-178
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: All areas-Throughout
Feature/Material: Fluorescent Light Fitting - Double Tube-Capacitor



Photo No: J127655-1306-179
Result: PCB - Presumed Positive
Building/Level: Main Building-Level 01
Room/Location: All areas-Throughout
Feature/Material: Fluorescent Light Fitting - Single Tube-Capacitor



Photographs Facilities Management 09-07-2014





Photo No: J127655-1306-180
Result: Lead (Paint) - Positive
Building/Level: Main Building-Level 01
Room/Location: All areas-Throughout
Feature/Material: Window Frame-Upper & Lower Paint System/s



Sample Analysis Results

Facilities Management 09-07-2014





Risk Management Services

NOFE ARNOLD & ASSOCIATES PTY LTD
A 6 N 006 THEORE AND 16 006 THORE ABN Job Chronic And Robe D Office 2, 120 South Street, Wollongong, NSW 2500 Australia Phone: (02) 4298 2600 Fax: (02) 9889 1811

Email: wollongong@noel-arnold.com.au www.noel-arnold.com.au

Tuesday, 22/07/2014

Our ref: C107417:J127655-1306

Ken Simpson Charles Sturt University Boorooma Street **WAGGA WAGGA NSW 2650**

Dear Ken.

Re: Asbestos Identification Analysis - Facilities Management Building, Charles Sturt University, Panorama Avenue, Bathurst NSW 2795

This letter presents the results of asbestos fibre identification analysis performed on 3 samples collected by Robbie Chiarello of Noel Arnold & Associates Pty Ltd on Wednesday, 09 July 2014. The samples were collected from Facilities Management Building, Charles Sturt University, Panorama Avenue, Bathurst NSW

All sample analysis was performed using polarised light microscopy, including dispersion staining in our Wollongong Laboratory in accordance with Noel Arnold and Associates Pty Ltd Test Method NALAB 302 "Asbestos Identification Analysis" and following the guidelines of Australian Standard AS4964-2004.

The samples will be kept for six months and then disposed of, unless otherwise directed.

The results of the asbestos identification analysis are presented in the appended table.

Should you require further information please contact Robbie Chiarello.

Yours sincerely

NOEL ARNOLD & ASSOCIATES PTY LTD

Daniel Cottom: Approved Identifier

Daniel Cottom: Approved Signatory



ACCREDITATION

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The results of the tests, calibrations and/or measurements included in this document are traceable Australian/national standards.

Accredited for compliance with ISO/IEC 17020, Corporate Site No. 18349.

■ Melbourne ■ Sydney ■ Canberra ■ Brisbane

Practical Solutions

J127655-1306 CSU Panorama Ave Bathurst ID 2014-07-09

1 of 2



Sample Analysis Results Facilities Management 09-07-2014



Wollongong Laboratory Sample Analysis Results



Tuesday, 22/07/2014 Our ref: C107417:J127655-1306

Site	e Location:	Facilities Management Building, Charles Sturt University, Panorama Avent	ue, Bathurst NSW 2795
3 0	Sample ID	Sample Location/Description/Weight or Size	Analysis Result
1	J127655- 1306 01	Main Building - Level 01 - Exterior - Northeast - Wall - Fibre Cement Sheeting Off white painted brown-grey fibre cement sheet material ~ 14 x 8 x 3 mm	Chrysotile (white asbestos) Amosite (brown asbestos)
2	J127655- 1306 02	Main Building - Level 01 - Kitchen - West - Sink Pad - Bituminous Material Black/grey rubber-type sheet material ~ 13 x 12 x 3 mm	No Asbestos Detected
3	J127655- 1306 03	Back Shed - Southwest - Level 01 - Surrounding - Throughout - Wall - Fibre Cement Sheeting Off white painted brown-grey fibre cement sheet material ~ 20 x 10 x 4 mm	Chrysotile (white asbestos) Amosite (brown asbestos)

^{*} Shaded row with bolded text indicates sample contains a positive result for asbestos.

J127655-1306 CSU Panorama Ave Bathurst ID 2014-07-09

2 of 2



Methodology



Asbestos



Risk Assessment Factors



Risk Assessment Factors - Asbestos

The presence of asbestos-containing materials (ACMs) does not necessarily constitute an exposure risk. However, if the ACM is sufficiently disturbed to cause the release of airborne respirable fibres, then an exposure risk may be posed to individuals. The assessment of the exposure risk posed by ACMs assesses (a) the material condition and friability, and (b) the disturbance potential.

Material Condition

The assessment factors for material condition include:

- · Evidence of physical deterioration and/or water damage.
- · Degree of friability of the ACM.
- Surface treatment, lining or coating (if present).
- Likelihood to sustain damage or deterioration in its current location and state.

Physical Condition and Damage

The condition of the ACM is rated as either being good, fair or poor.

Good refers to an ACM that has not been damaged or has not deteriorated refers to an ACM having suffered minor cracking or de-surfacing.

Poor describes an ACM which has been damaged or its condition has deteriorated over time.

Friability and Surface Treatment

The degree of friability of ACMs describes the ease of which the material can be crumbled, and hence to release fibres, and takes into account surface treatment.

Friable asbestos

(e.g. sprayed asbestos beam insulation (limpet), pipe lagging) can be easily crumbled and is more hazardous than non-friable asbestos products.

Non-friable asbestos

also referred to as bonded asbestos, typically comprises asbestos fibres tightly bound in a stable non-asbestos matrix or impregnated with a coating. Examples of non-friable asbestos products include asbestos cement materials (sheeting, pipes etc), asbestos containing vinyl floor tiles, compressed gaskets and electrical backing boards.

Disturbance Potential

In order to assess the disturbance potential, the following factors are considered:

- · Requirement for access for either building work or maintenance operations.
- · Likelihood and frequency of disturbance of the ACM.
- · Accessibility of the ACM.
- Proximity of the ACM to air plenums and direct air stream.
- Quantity and exposed surface areas of ACM.
- Normal use and activity in area, and numbers of persons in vicinity of ACM.

These factors are used to determine (i) the potential for fibre generation, and (ii) the potential for exposure to person/s, as a rating of low, medium or high disturbance potential:

Risk Status

The risk factors described previously are used to rank the asbestos exposure risk posed by the presence of the ACM.

- A low risk rating describes ACMs that pose a low exposure risk to personnel, employees and the general public
 providing they stay in a stable condition, for example asbestos materials that are in good condition and have low
 accessibility.
- A medium risk rating applies to ACMs that pose an increased exposure risk to people in the area.
- A high risk rating applies to ACMs that pose a higher exposure risk to personnel or the public in the vicinity of the material due to their condition or disturbance potential.



Priority Rating System



Priority Actions

The following priority rating system is adopted to assist in the programming and budgeting for the control of asbestos risk identified in the assessment.

		Restrict Access to Area &
Priority 1 (P1)	Action:	Organise Abatement Works as soon as practicable &
		Manage any remaining materials as part of an AMP

Area has ACMs, which are either damaged or are being exposed via continual disturbance. Due to these conditions, there is an increased potential for exposure and/or transfer of the material to other locations with continued unrestricted use of the area. Representative asbestos fibre monitoring should be conducted in the area during normal building operation where recommended. Prompt abatement of the asbestos hazard is recommended.

As an interim, restrict access.

Priority 2 (P2)	Action:	Organise Remedial Works in the next few months & Manage any remaining materials as part of an AMP
-----------------	---------	---

Area has ACMs with a potential for disturbance due to the following conditions:

- Material has been disturbed or damaged and its current condition, while not posing an immediate hazard, is unstable.
- 2. The material is accessible and when disturbed, can present a short-term exposure risk.
- Demolition, renovation, refurbishment, maintenance, modification or new installations, involving air-handling systems, ceilings, lighting, fire safety systems or floor layout.

Appropriate abatement measures should be taken as soon as practicable. A negligible exposure risk exists if materials remain under the control of an Asbestos Management Plan (AMP).

Priority 3 (P3)	Action:	No Short-Term Remedial Works Required Review periodically and Manage as part of an AMP
-----------------	---------	--

Area has ACMs, where:

- The condition of friable ACMs is currently stable and has low potential of being disturbed.
- 2. The ACM is currently in a non-friable form, may have slight damage, but does not present an exposure risk unless cut. drilled, sanded or otherwise abraded.

This presents a low risk of exposure where the materials are left undisturbed under the control of an Asbestos Management Plan (AMP). Defer any major action unless materials are to be disturbed as a result of maintenance, refurbishment or demolition operations.

Priori	ty 4 (P4)		No Short-Term Remedial Works Required Review periodically and Manage as part of an AMP
--------	-----------	--	--

Area has ACMs in a non-friable form and in good condition. It is unlikely that the material can be disturbed under normal circumstances and can be safely subjected to normal traffic. Even if it were subjected to minor disturbance the material poses a negligible health risk. These materials should be maintained in good condition and their condition monitored during subsequent reviews. As with any asbestos materials, these materials must be removed prior to renovations that may impact on the materials.



Asbestos Management Requirements



The Occupational Health and Safety Regulations of most Australian states refer to a Code of Practice for guidance on identification and management of asbestos materials (ACMs) in workplaces. The requirements are summarised below.

Asbestos Management Plan (AMP)

An AMP should be developed for the site as per the Code of Practice. The AMP should be a broad ranging document detailing the following information:

- · The site's asbestos material register.
- · Responsibilities for relevant persons in the management of ACMs.
- Mechanisms for communicating the location, type and condition of ACMs, the risks posed by these and the control measures adopted to minimise these risks.
- Training arrangements for workers and contractors.
- A Procedure for reviewing and updating the AMP and the register.
- · Air Monitoring and clearance inspection arrangements.
- · Timetable for action to review risk assessments and undertake asbestos management activities.
- Records of any maintenance or service work conducted on ACMs, including clearance certificates for removed items.

Updates to Register, AMP and Risk Assessments

The asbestos register and the AMP should be reviewed (via visual inspection by a competent person) and updated at least every 5 years or earlier where a risk assessment indicates the need for a re-assessment or if any ACMs have been removed or updated as per the requirements of the Code of Practice.

Risk assessments should be reviewed regularly and as specified by the Code of Practice, particularly when there is evidence that the risk assessment is no longer valid, control measures are shown to be ineffective or there is a significant change planned for the workplace or work practices or procedures relevant to the risk assessment; or there is a change in ACM condition or ACMs have since been enclosed, encapsulated or removed.

Labelling

All confirmed or presumed ACMs (or their enclosures) should be labelled to identify the material as asbestos-containing or presumed asbestos-containing and to warn that the items should not be disturbed as per the requirements of the Code of Practice.

Training

Staff and site personnel must be provided with Asbestos Awareness training in accordance with the Code of Practice. Training should inform staff how to work safely alongside asbestos by instructing them of:

- 1. The health risks associated with asbestos.
- 2. Their roles and responsibilities under the AMP.
- 3. Procedures for managing asbestos on-site.
- 4. The correct use of control measures and safe work methods to minimise the risks from asbestos.

Refurbishment / Demolition Requirements

This audit is limited by the Scope of Works and Methodology outlined within this report.

Generally, a new audit or revised audit is required prior to any planned refurbishment, alteration, demotion or upgrade works that may disturb ACMs at the site in accordance with Australia Standard AS 2601: The Demolition of Structures and Demolition Work Code of Practice (Safe Work Australia 2013).

Removal of Asbestos Materials

Any works involving the removal of ACMs should be undertaken by a Licensed Asbestos Removal Contractor (LARC). In addition, an appropriately qualified independent Asbestos Consultant / Occupational Hygienist should undertake asbestos fibre air monitoring during/after works, and issue a Clearance Certificate to validate the works have been undertaken safely.

All works should be conducted in accordance with legislative requirements and following the requirements of the document 'How to Safely Remove Asbestos: Code of Practice (Safe Work Australia, 2011)'.



Hazardous Material Management Requirements



The Occupational Health and Safety Regulations of most Australian states have requirements for the identification and control of risks within workplaces. These broad requirements extends to the hazardous materials that may be present within buildings at the workplace. The requirements for management of hazardous materials is summarised below.

Synthetic Mineral Fibre (SMF)

Synthetic Mineral Fibre (SMF) is a man-made insulation material used extensively in industrial, commercial and residential sites as fire rating, reinforcement in construction materials and as acoustic and thermal insulators. Types of SMF materials include fibreglass, rockwool, ceramic fibres and continuous glass filaments.

There are two basic forms of Synthetic Mineral Fibre (SMF) insulation, bonded and un-bonded.

- Bonded SMF is where adhesives, binders or cements have been applied to the SMF before delivery and the SMF product has a specific shape.
- Un-bonded SMF has no adhesives, binders or cements and the SMF is loose material packed into a package.

Exposure to SMF can result in short-term skin, eye and respiratory irritation. SMF is also classified as a possible human carcinogen with a possible increase in risk in lung cancer from long-term exposure.

The use of and the safe removal of SMF materials should be conducted in accordance with the National Code of Practice for the safe use of Synthetic Mineral Fibres [NOHSC: 2006 (1990)].

Polychlorinated Biphenyls (PCBs)

Polychlorinated Biphenyls (PCBs) are a toxic organochlorine used as insulating fluids in electrical equipment such as transformers, capacitors and fluorescent light ballasts that were largely banned from importation in Australia in the 1970s.

PCBs are listed as a probable human carcinogen and should be managed in accordance with the ANZECC Polychlorinated Biphenyls Management Plan, 2003. The handling and disposal of PCBs must be performed in accordance with applicable state and commonwealth environmental protection laws as scheduled PCB waste.

The following Personal Protective Equipment (PPE) should be worn when handling items containing or suspected to contain PCBs - nitrile gloves, eye protection, and disposable overalls. The PPE should be worn when removing capacitors from light fittings in case PCBs leak from the capacitor housing.

Lead Paint

Lead paint, as defined by the Australian Standard "AS4361.2: 1998 Guide to Lead Paint Management; Part 2: Residential and Commercial Buildings", is that which contains in excess of 1% Lead by weight.

Lead carbonate (white lead) was once the main white pigment in paints for houses and public buildings. Paint with lead pigment was manufactured up until the late 1960's, and in 1969 the National Health and Medical Research Council's Uniform Paint Standard was amended to restrict lead content in domestic paint.

Lead in any form is toxic to humans when ingested or inhaled, with repeated transmission of particles cumulating in lead poisoning. Lead paint is assessed based on two potential routes of exposure. Firstly by the likelihood of inhalation or ingestion by people working in the vicinity of the paint and secondly by the condition of the paint. Paint that is flaking or in poor condition is more likely to be ingested than paint that is in a good, stable condition.

Any work relating to lead paint should be conducted in accordance with the 'National Code of Practice for the Control and Safe Use of Inorganic Lead at Work [NOHSC: 2015 (1994)]'.



Statement Of Limitations



This report has been prepared in accordance with the agreement between Charles Sturt University and Noel Arnold & Associates.

Within the limitations of the agreed upon scope of services, this work has been undertaken and performed in a professional manner, in accordance with generally accepted practices, using a degree of skill and care ordinarily exercised by members of its profession and consulting practice. No other warranty, expressed or implied, is made.

This report is solely for the use of Charles Sturt University and any reliance on this report by third parties shall be at such party's sole risk and may not contain sufficient information for purposes of other parties or for other uses. This report shall only be presented in full and may not be used to support any other objective than those set out in the report, except where written approval with comments are provided by Noel Arnold & Associates.

This report relates only to the identification of asbestos containing materials used in the construction of the building and does not include the identification of dangerous goods or hazardous substances in the form of chemicals used, stored or manufactured within the building or plant.

The following should also be noted:

While the survey has attempted to locate the asbestos containing materials within the site it should be noted that the review was a visual inspection and a limited sampling program was conducted and/or the analysis results of the previous report were used. Representative samples of suspect asbestos materials were collected for analysis. Other asbestos materials of similar appearance are assumed to have a similar content.

Not all suspected asbestos materials were sampled. Only those asbestos materials that were physically accessible could be located and identified. Therefore it is possible that asbestos materials, which may be concealed within inaccessible areas/voids, may not have been located during the audit. Such inaccessible areas fall into a number of categories.

- (a) Locations behind locked doors;
- (b) Inset ceilings or wall cavities;
- (c) Those areas accessible only by dismantling equipment or performing minor localised demolition works;
- (d) Service shafts, ducts etc., concealed within the building structure;
- (e) Energised services, gas, electrical, pressurised vessel and chemical lines;
- (f) Voids or internal areas of machinery, plant, equipment, air-conditioning ducts etc;
- (g) Totally inaccessible areas such as voids and cavities created and intimately concealed within the building structure. These voids are only accessible during major demolition works;
 - (h) Height restricted areas
 - (i) Areas deemed unsafe or hazardous at time of audit.

In addition to areas that were not accessible, the possible presence of hazardous building materials may not have been assessed because it was not considered practicable as:

- 1. It would require unnecessary dismantling of equipment; and/or
- 2. It was considered disruptive to the normal operations of the building; and/or
- 3. It may have caused unnecessary damage to equipment, furnishings or surfaces; and/or
- 4. The hazardous material was not considered to represent a significant exposure risk; and
- 5. The time taken to determine the presence of the hazardous building material was considered prohibitive.

Only minor destructive auditing and sampling techniques were employed to gain access to those areas documented in the Hazardous Materials Register. Consequently, without substantial demolition of the building, it is not possible to guarantee that every source of hazardous material has been detected.

During the course of normal site works care should be exercised when entering any previously inaccessible areas or areas mentioned above and it is imperative that work cease pending further sampling if materials suspected of containing asbestos or unknown materials are encountered. Therefore during any refurbishment or demolition works, further investigations and assessment may be required should any suspect material be observed in previously inaccessible areas or areas not fully inspected previously, i.e. carpeted floors.

This report is not intended to be used for the purposes of tendering, programming of works, refurbishment works or demolition works unless used in conjunction with a specification detailing the extent of the works. To ensure its contextual integrity, the report must be read in its entirety and should not be copied, distributed or referred to in part only.





CF/KT 14742 11 March 2015

David Sherley General Manager Bathurst Regional Council 158 Russell Street BATHURST NSW 2795

Dear Mr Sherley

STATEMENT OF ENVIRONMENTAL EFFECTS VILLAGE ROAD, CHARLES STURT UNIVERSITY, BATHURST

This Statement of Environmental Effects (SEE) is submitted to Bathurst Regional Council in support of a Development Application (DA) for the refurbishment of an existing administration building and 'farmhouse' at Village Road, Charles Sturt University to house a new School of Engineering faculty.

The DA seeks approval for:

- Refurbishment of the existing ground floor to include student study space, meeting rooms and labs;
- Additional 107 m² of GFA at the tip of southern wing of the ground floor for a new lab;
- Addition of a mezzanine Level 1 to facilitate an open plan office and meeting rooms for staff;
- Associated landscaping works;
- Minor additions and amendments to existing access and road infrastructure;
- Installation of solar panels; and
- Refurbishment of existing farmhouse and addition of meeting room.

This SEE has been prepared by JBA on behalf of Charles Sturt University (CSU). This report describes the site, its environs, the proposed development, and provides an assessment of the proposal in terms of the matters for consideration under Section 79C(1) of the *Environmental Planning and Assessment Act 1979* (EP&A Act). It should be read in conjunction with the following supporting documentation appended to the report:

- Architectural plans prepared by Thomson Adsett Architects (Attachment A);
- Landscape plan prepared by Thomson Adsett Architects (Attachment B);
- Hazardous materials risk assessment undertaken by Greencap (Attachment C); and
- Accessibility assessment undertaken by Mckenzie Group (Attachment D).

1.0 BACKGROUND

1.1 Charles Sturt University

The history of the CSU Bathurst Campus dates back to 1895 with the establishment of the Bathurst Experiment Farm. The Bathurst Teacher's College was opened in 1951 and the evolution of these institutions led to the formation of CSU in 1989.

CSU now has campuses in Albury-Wodonga, Bathurst, Canberra, Dubbo, Goulburn, Orange, Parramatta, Wagga Wagga, Port Macquarie, and in Ontario in Canada, as well as study centres in Sydney and Melbourne. The University achieves a sustainable, broad course profile and large enrolments across its main campuses.

CSU is committed to achieving excellence in education for the professions and to maintaining national leadership in flexible and distance education. It currently provides 360 courses in Health, Education, Business, Science, Communications and Creative Industries, and is considered to be the premier provider of courses in Agriculture, Policing and Security, and Early Childhood. It aims to address skills shortages, and encourage participation in, and access to, professional development and applied research in regional areas. It is student centric and places high value on collaboration, agility, change, reliability and inclusiveness.

1.2 Pre-DA Meeting

A Pre-DA meeting was held with Council in January 2015 to introduce the proposal. Detailed plans were later sent to Council for review and it was advised that the works are generally supported. Council noted the primary issues will relate to building upgrades (such as fire and access) and that these could be dealt with as part of the Construction Certificate process.

Council has subsequently advised that the enabling works (including demolition, tree removal and site establishment works) can be undertaken as Exempt Development.

2.0 PLANNING FRAMEWORK

2.1 Crown Development Application

Clause 226(1) of the *Environmental Planning and Assessment Regulation 2000* provides that a development carried out by an Australian University (within the meaning of the *Higher Education Act 2001*) is a Crown development. CSU, the applicant, is listed as an Australian University under Schedule 1 of the *Higher Education Act 2001*. As the development will be carried out by the University, it is a Crown development for the purposes of Division 4 of the EP&A Act.

Under the special provisions for Crown developments, the DA cannot be refused (except with the approval of the Minister for Planning and Environment), the Consent Authority cannot impose conditions of consent without the applicant's agreement, and the applicant has the opportunity to review the draft conditions.

2.2 Consent authority

The proposed development is a Crown development that has a Capital Investment Value (CIV) of \$8,336,000 and is therefore categorised as 'regional development' under Schedule 4A of the Act, to be determined by the Western Joint Regional Planning Panel (JRPP).

3.0 SITE ANALYSIS

3.1 Site Description

The CSU Bathurst Campus is located approximately 2km south west of the Bathurst Town Centre as shown in Figure 1 below. The proposed School of Engineering site (the site) is located on Village

Road at the south of the campus. The site's locational context within the campus is shown in **Figure 2** below.

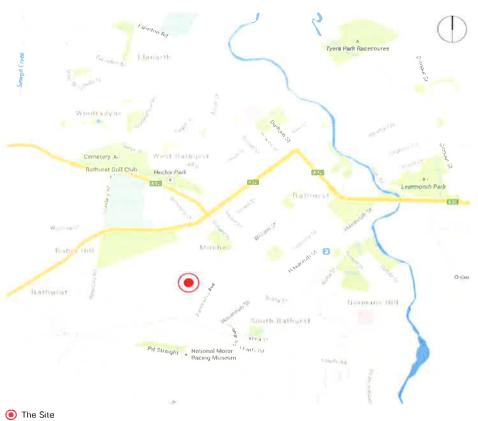


Figure 1 - Location plan

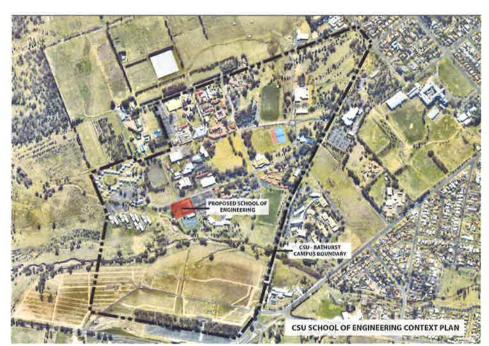


Figure 2 – Location of subject site Source: Thomson Adsett Architects

Existing Development

The site currently contains a single storey 'U' shaped building (known as building 1305) previously used as an administration centre incorporating the Department of Facilities, Management and Operations along with a mail store. The building was constructed during the 1980s and has a maximum height of 6.3m. To the west of the administration building is a building known as the 'farmhouse' (building 1306) that was previously used for general office space. It is assumed this building is more than 50 years old. The combined GFA of the two buildings is approximately 1,960m².

The administration and farmhouse buildings are currently vacant and the 21 staff who previously worked at the site have now been relocated off campus.

Car spaces for 22 vehicles exist between the two buildings and a truck turning/delivery area is located near the entrance of the administration building. Vehicles gain access to the buildings via Village Drive which connects to Panorama Ave at the main entrance of the campus.

Vegetation exists along the eastern and western walls of the administration building and surrounds the farmhouse building as shown in **Figure 3**.



Figure 3 - Existing development

Zoning

The site is located on land zoned SP2 (Education) under the Bathurst Local Environmental Plan (LEP) 2014.

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Legal Description and Land Ownership

The land is under the ownership of Charles Sturt University and is comprised of the following lots:

- 236//DP750357;
- 240//DP750357;
- 242//DP750357;
- 251//DP750357;
- 287//DP47960; and
- 1//DP823451.

The subject buildings are located in Lot 287 of DP47960.

3.2 Surrounding Development

The subject buildings are located at the south of CSU Bathurst Campus and are surrounded by university uses including student accommodation, parking and educational buildings.

A range of land uses surround the CSU Campus. To the immediate north of the campus is an agricultural research station. To the east is Bathurst Tafe and the Land and Property Information site. South of the campus is a vacant lot, used for car parking for events, and the Mount Panorama Pit Straight is located beyond this. Vacant land zoned environmental conservation is situated to the west.

4.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed development involves a refurbishment of the existing administration and farmhouse buildings to facilitate a new School of Engineering faculty. Specifically, this application seeks approval for:

- Refurbishment of the existing ground floor to include student study space, meeting rooms and labs;
- Additional 107m² of GFA at the tip of southern wing of the ground floor for a new lab;
- Addition of a mezzanine Level 1 to facilitate staff open plan office and meeting rooms;
- Associated landscaping works;
- Minor additions and amendments to existing access and road infrastructure;
- Installation of solar panels; and
- Refurbishment of the existing farmhouse and addition of meeting room.

4.1 Enabling Works

An Enabling Works package consisting of activities classified as Exempt Development is to be undertaken during April/May of 2015. Charles Sturt University will provide notification and all required information to Bathurst Regional Council in the coming weeks.

4.2 Proposed use and GFA

The use of each section of the proposed new School of Engineering is outlined in Table 1 below.

Table 1 - Proposed uses

Area	Use
Ground Floor (refurbishment)	 Student collaboration and study areas
	 Meeting rooms
	'Pitch zone'
	Computer studio
	■ Labs
	 Staff workshop
	■ Reception
	Amenities
	■ Circulation/corridors
	 Storage and other
Level 1 (new level)	Staff open plan office space
	Staff office
	Quiet rooms
	■ Lounge
	Meeting room
	■ Foyer
	■ Terrace
Farmhouse (refurbishment)	■ Study area
	Kitchen
	Amenities
	 Meeting room

The combine GFA of the existing buildings is 1,960m². The refurbishment and addition of the lab at ground floor and Level 1 staff space will result in an overall GFA of 2,467m².

Architectural drawings prepared by Thomson Adsett Architects are provided at **Attachment A** and a 3D perspective of the development is shown at **Figure 4**.



Figure 4 – 3D model of proposed refurbishment Source: Thomson Adsett Architects

4.3 Population

Each cohort in the faculty will contain approximately 50 students. Due to the nature of the CSU Engineering course which will involve on-campus study for the first 18 months followed by 4 years of industry placement and online study, there will be a maximum of 20 staff and 100 students using the faculty at any given time.

4.4 Built Form

The proposed refurbishment and additions will result in a part one, part two storey building with a maximum height of 9.55m. The ground floor of the building generally maintains its existing footprint with the exception of the additional lab at the tip of the south western wing. An additional level will be constructed over the southern wing of the building to provide office space and facilities for staff.

Solar panels will be installed, covering the north facing roof aspects of both the northern and southern wings of the building.

The farmhouse building will include internal alterations and will be extended to provide a new 45m² meeting room at the southern end.

External Materials and Finishes

The proposed refurbishment is characterised by a combination of contemporary materials including clear glazing, steel frames, brick, and colorbond steel walls and roof.

4.5 Landscaping and Public Domain

A landscape plan is included at **Attachment B**. The plan incorporates an orchard of alternating deciduous and evergreen trees as shown in **Figure 5**. A large courtyard is proposed at the current entrance of the building which will include three 'study pods' and outdoor seating. A walkway will lead from the entrance of the School of Engineering to the converted farmhouse.

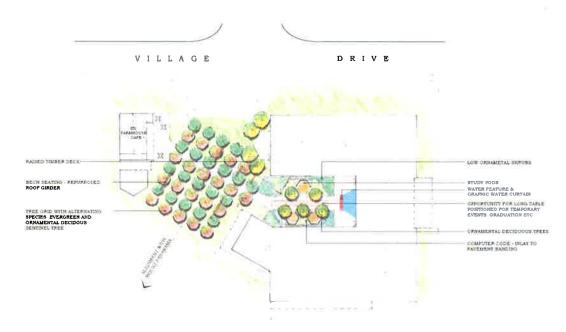


Figure 5 - Landscape Plan Source: Thomson Adsett Architects

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Figure 6 – Landscape design concept Source: Thomson Adsett Architects

4.6 Access and Parking

A new main entrance is proposed on the eastern side of the building, linking directly to existing carpark 'P5'. The entrance will link through to a second entrance point on the western side, leading to the courtyard and landscaped space. A new pathway will provide access through the landscaped area to the farmhouse building.

The existing 22 car spaces used for the administration building will be removed to provide landscaped space and a stronger connection between the proposed School of Engineering and farmhouse. No dedicated student parking is proposed as adequate parking is available in the vicinity for students, and a dedicated staff car park is already in existence adjacent to building 1305. Further details on parking are provided in **Section 5.8**.

Loading vehicle access will be via existing and new asphalt/concrete connections to the south of Building 1305.

4.7 Infrastructure and Services

The site is currently served by water, electricity, gas and telecommunications. These existing utilities will be augmented / upgraded as required.

5.0 ASSESSMENT OF PLANNING ISSUES

Under Section 79C(1) of the EP&A Act, in determining a development application the consent authority has to take into account a range of matters relevant to the development including the provisions of environmental planning instruments; impacts of the built and natural environment, the social and economic impacts of the development; the suitability of the site; and whether the public interest would be served by the development.

The assessment includes only those matters under Section 79C(1) that are relevant to the proposal. The DA's consistency and compliance with the relevant strategic and statutory plans and policies is located in **Table 2** below. Variations to the key standards and guidelines highlighted in the table are discussed in detail in the following sections of this environmental assessment.

Table 2 - Summary of consistency with key strategic and statutory plans and policies

Instrument/Strategy	Comments	
Strategic Plans	15	
NSW State Plan 2021	and, in conjunction with the NSW Budget, to is consistent with many of the key goals of the and goals for education. Specifically, the pro	posal will drive economic growth in regional low the potential for improved education and
State Planning Instruments and Controls		
SEPP 55		any other aspect of the environment. The
SEPP (State and Regional Development) 2011	Given the proposal is Crown development w Schedule 4A of the Environmental Planning Planning Panel will be the consent authority.	and Assessment Act 1979, the Joint Regional
Local Planning Instruments and Controls	700 mark	
Bathurst Local Environmental Plan 2014	Clause 2.1 – Land Use Zone	The site is zoned SP2 (Education). The proposed development is permissible with consent as it relates to the educational purpose of the zone.
	Clause 4.3 - Height of Buildings	N/A – No maximum height applies to the site under the LEP 2014
	Clause 4.4 – Floor Space Ratio	N/A – No maximum FSR applies to the site under the LEP 2014
	Clause 5.9 – Preservation of trees	Approval is not be required for removal of trees on this site as the site is not in a heritage conservation area and does not contain a heritage item.
	Clause 5.10 – Heritage	Refer to Section 6.3
	Clause 7.6 – Mount Panorama Environs	Refer to Section 6.4
Bathurst Regional Development Control	Chapter 9 – Environmental Considerations	Refer to Section 6.5
Plan 2014	Chapter 13 – Landscaping & Greening	A landscaping plan has been prepared by Thomson Adsett Architects and is provided at Attachment B .
	Chapter 14 - Parking	Refer to Section 6.8
	Chapter 15 – Crime Prevention	Refer to Section 6.10

5.1 Built Form

The proposed refurbishment will result in a largely new building that is mostly contained within the existing building footprint. The primary alteration will be to the southern wing which will be extended and an additional storey added. The maximum height of the building will be 9.55m which is in keeping with the surrounding context of the campus and will not cause any undue impacts in terms of views on the surrounding rural landscape.

The selection of materials and finishes for this project is acknowledged as highly important in the context of achieving a high quality design outcome that both respects and complements the rural character of the site and its surrounds.

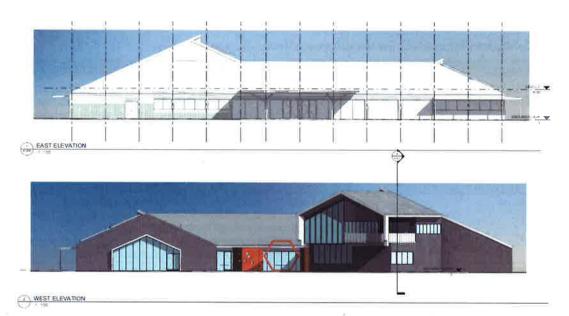


Figure 7 - Elevations
Source: Thomson Adsett Architects

5.2 Shadowing

Shadow diagrams have been prepared by Thomson Adsett Architects and are included at **Attachment A.** The proposal will not cause any adverse shadowing impacts on neighbouring buildings, including the farmhouse building as illustrated in **Figure 8** below.

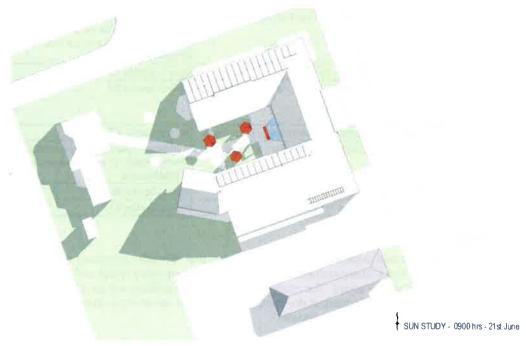


Figure 8 – Shadow diagram Source: Thomson Adsett Architects

5.3 Heritage

The site is not a heritage item or located within a heritage conservation zone. A number of heritage items are located within the CSU Campus (refer to Figure 9), however these are mostly located in

the northern section away from the subject buildings. As a result, these items are unlikely to be impacted by the proposed works.

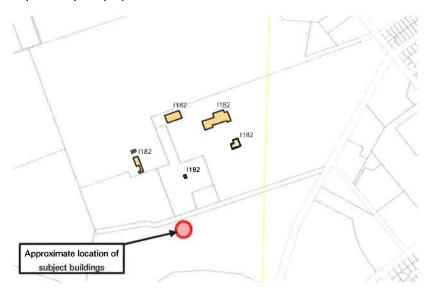


Figure 9 - Heritage Map Source: Bathurst Regional Council

5.4 Mount Panorama Environs

The proposed works are related to land identified on the '50dBA' Mount Panorama Environs Map (refer to Figure 10). As a result, Council must consider whether the development will result in an increase in dwellings or land identified as being sensitive to noise or other land use conflicts associated with motor racing and events.

The proposal does not involve residential dwellings and is not sensitive to the nearby motor racing use. The subject building is located within the CSU Campus and has previously been used as office space and workshops. It is located amongst student accommodation which would be more susceptible to noise than the proposed School of Engineering use.

The design of the building is oriented to the north, away from the Mount Panorama race track, with minimal open areas facing south. The addition to the south western end of the building will also act as a sound barrier to the open courtyard and northern section of the building.



Figure 10 – Mount Panorama Environs Map Source: Bathurst Regional Council

5.5 Environmental considerations

The proposed development has been designed taking into account Environmentally Sustainable Development (ESD) principles, including solar passive design. The proposal is also for the adaptive reuse of an existing building, rather than a completely new build, helping to limit construction wastes and building materials.

The refurbished buildings will include water efficient fixtures and fittings (i.e toilets, taps, shower heads) and energy efficient appliances. In addition, solar panels will be provided on the roof of the engineering building to provide a renewable source of energy for the development and rainwater tanks will be installed.

The building has been designed to comply with Section J of the BCA. Enhanced energy efficiency is being incorporated as part of the universities energy policy.

Flora & Fauna

The site on which the subject building is located has been previously used as a services precinct by the universities Facilities Management and Division of Finance staff. The south side of the services precinct is bounded by Hawthornden Creek as illustrated in Figure 11. The proposed new works will have no impact on the creek's reservation or vegetation.

The proposed development will require the removal of some trees adjacent to the building to enable the extension to the current building footprint (these works will be undertaken as exempt development as part of the enabling works package, separate to this DA). This vegetated area has been developed since the area was used as a services precinct. Accordingly, the development will not cause any undue impacts on surrounding natural flora and fauna.

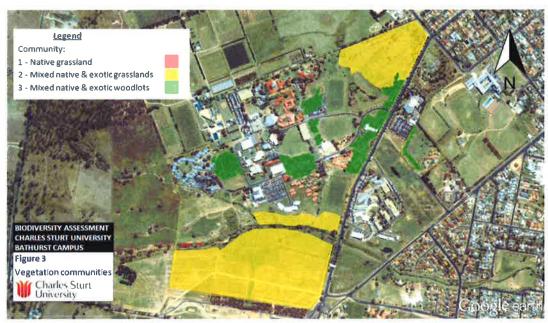


Figure 11 - Vegetation Map

Source: CSU

Noise and Vibrations

The use of the completed development will not generate offensive noise or vibration. Activity on site will comply with all relevant NSW noise legislation, including the *Protection of the Environment Operations Act 1997*.

5.6 Hazardous Materials

A hazardous materials risk assessment was undertaken by Greencap in July 2014 and the findings are included at **Attachment C**.

The survey found asbestos located in both the administration and farmhouse buildings and is considered 'low risk'. Management of hazardous materials will be subject to a more detailed study prior to construction and asbestos will be removed by a licensed contractor prior to refurbishment.

5.7 Waste management

A detailed waste management plan will be submitted at Construction Certificate stage. Construction materials will be reused and recycled where appropriate and all building wastes will be disposed of by a licenced waste contractor.

5.8 Parking

Car Parking

The DCP requires car parking to be provided at a rate of one space per two employees, and one space for every five students. Accordingly, the projected student and staff population of the new faculty will require a total of 30 spaces.

The proposal seeks to remove 22 car spaces from the 70 staff car spaces currently available in existing car park P8 (refer to Figure 12). The remaining 48 staff spaces currently available exceeds the 10 spaces required by the DCP and will adequately cater to the new staff requirements that will be generated the proposal. It should further be noted that 21 administrative staff previously occupying 1306 (the farmhouse building) have been relocated off site thereby making additional spaces available. Existing car park 'P5' offers 317 spaces and it is expected that there will always

be a sufficient number of available spaces to accommodate new students brought in by the proposal.

CSU is currently seeking observed parking demand data and an assessment of the traffic provisions for the proposal by TEF Consulting, who undertook a traffic and parking study in 2011. This is to be issued to Council as an addendum in the next week and is expected to support the position that additional car parking will not be required as a result of the proposal.

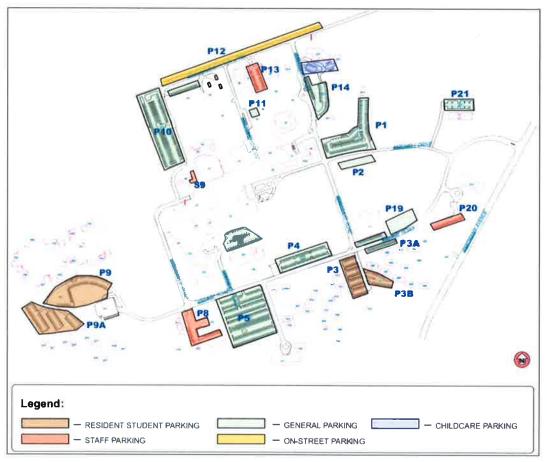


Figure 12 - CSU existing parking

Source: TEF

Bicycle Parking

Bicycle parking spaces will be provided at a minimum rate of one space per 20 employees and one space per 20 students (six spaces). As the required number of employee spaces is less than five, no shower or change room facilities are required. Nevertheless, the proposal includes one male and one female shower and change room.

5.9 BCA and Accessibility

An accessibility assessment of the design has been undertaken by Mckenzie Group and is included at **Attachment D**.

The assessment concludes that the current proposal meets the BCA deemed to satisfy requirements and that compliance with the relevant access provisions of the Australian Standards and DDA can be achieved.

5.10 Crime Prevention

The development implements the principles of Crime Prevention through Environmental Design (CPTED), as identified in the Department of Planning's guideline titled *Crime Prevention and the Assessment of Development Applications (2001)* as outlined in **Table 3**.

Table 3 - Assessment of proposal against principles of CPTED

Design Principle

Assessment

Natural Surveillance

As noted in Crime Prevention and the Assessment of Development Applications, good surveillance means that people can see what others are doing. People feel safe in public areas when they can easily see and interact with others. Would-be offenders are often deterred from committing crime in areas with high levels of surveillance. In accordance with this principle, the development provides surveillance.

The development has been designed to provide passive surveillance over public areas, through the introduction of outward looking glazed study areas and labs providing surveillance over the main entrance, courtyard, public domain and beyond towards the farmhouse. The second storey staff area is directed north and will also overlook the courtyard and pathway up to the farmhouse building. A terrace and meeting room on the second floor are oriented south to provide surveillance to the rear of the building and beyond.

These building features will promote the reality and perception that the open spaces are under casual surveillance during both the day and night. This acts as a way of creating the perception of risk in the minds of potential perpetrators. The well-lit access paths will also enhance passive surveillance, providing continuous activation throughout the site.

In addition, a number of strategies can be adopted to further improve the safety and security of the development. Including:

- Appropriate signage should reinforce the building's main entrance;
- Utilise strategically placed capable guardians, such as reception staff, to provide natural surveillance to the building entries; and
- Utilise trees with a high canopy that provide good shade for pedestrians, complemented with low groundcover landscaping that ensures good visibility for the pedestrian.

Access Control

Access controls use physical and symbolic barriers to attract, channel or restrict the movement of pedestrians. As noted in Crime Prevention and the Assessment of Development Applications, effective access controls make it clear where people are permitted to go or not go, and makes it difficult for potential offenders to reach and victimise people and damage property.

The general public are free to enter the CSU campus during the day. However all of the entry points into the building are located in areas which will be subject to relatively high user traffic, as well as surveillance from passing pedestrians and motorists on Village Drive. This will ensure that people entering and exiting the building can be clearly seen from public spaces and nearby buildings, and monitored if necessary.

After-hours access to the building will be restricted to students and staff who will require a ID and/or swipe card to gain entry.

In addition, a number of strategies can be adopted to further improve the safety and security of the development. Including:

- Use symbolic barriers, such as coloured or different paving materials to clearly define the publicly accessible areas and routes in and around the building;
- Ensure all access points to the building are appropriately controlled by key / code locks (where necessary) in conjunction with the level of security to be provided to staff and students;
- Ensure all windows are lockable from the inside.

Design Principle Assessment Territorial Reinforcement The perimeter of the CSU Campus is well defined by fencing Territorial reinforcement refers to the clear identification of public and the nature of universities creates a strong sense of spaces, and the creation of a sense of community ownership over community ownership over the space. The space is well used such spaces. As noted in the Crime Prevention and the throughout the day and looked after by cleaning, gardening and Assessment of Development Applications people feel comfortable maintenance staff. in, and are more likely to visit, places which feel owned and cared for. Well used places also reduce opportunities for crime and Additionally, security personnel conduct regular patrols of the increase risk to criminals. campus throughout the day and night. Space Management Durable and high-quality materials are proposed which will ensure Space management refers to providing attractive, well maintained that minimal maintenance is required for the proposed and well used spaces. As noted in Crime Prevention and the development. The continued maintenance of the building will ensure that it does not become degraded and will ensure that Assessment of Development Applications, space management strategies include site cleanliness, rapid repair of vandalism and vandalism of the property is strongly discouraged. graffiti and the removal of damaged physical elements. In addition, a number of strategies can be adopted to further improve the safety and security of the development. Including: Ensure graffiti is rapidly removed and all public spaces are kept clean and tidy; and

5.11 Suitability of the Site and Public Interest

The site is considered suitable for the proposed development for several reasons, including;

 It is located within the existing CSU Campus which serves the tertiary education needs of the broader region;

Use robust materials and graffiti resistant surfaces where possible to mitigate against potential malicious damage.

- The development will not result in any adverse environmental or amenity impacts;
- The land is suitably zoned and located to suit its purpose.

The development is in the public interest as it will support the ongoing operation of a regional university campus and will expand additional educational opportunities within the region. The proposal will support short-term construction jobs and ongoing employment opportunities, supporting the local economy.

In addition, the works will facilitate the refurbishment of two underutilised buildings on the CSU Campus, using a high quality architectural design and finish, and will provide a new School of Engineering for the university.

6.0 CONCLUSION

The DA has been prepared to consider the environmental, social and economic impacts of the site to facilitate the refurbishment of an existing building at CSU Bathurst to provide for a new School of Engineering. The SEE has addressed Section 79C of the *Environmental Planning and Assessment Act 1979* with regard to consideration of relevant environmental planning instruments, and environmental impacts, amongst other things.

The proposal warrants approval as it is consistent with the objectives and controls of the Bathurst LEP 2014 and generally in accordance with the principles of the DCP 2014. As demonstrated in this report, the development will not cause any additional undue impacts on the site and its surrounds and will support the refurbishment of two underutilised buildings on campus.

In light of the merits of the proposal and in the absence of any significant adverse environmental, social or economic impacts, we have no hesitation in recommending that the application be approved subject to standard conditions of consent.

Should you have any queries about this matter, please do not hesitate to contact me on 9409 4927 or cforrester@jbaurban.com.au.

Yours faithfully

Gerrester

Chris Forrester Urban Planner



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TRAFFIC AND PARKING IMPACTS REPORT NEW SCHOOL OF ENGINEERING FACULTY CHARLES STURT UNIVERSITY, BATHURST

Property address

Panorama Avenue, Bathurst NSW 2795

Client

Charles Sturt University

Prepared by

O. Sannikov, MEngSc (Traffic Engineering), MIEAust, PEng, MAITPM

Date

15/03/15

Job No.

15021

Report No.

15021 01

Item

Report

Site location

- Refer to Figure 1.
- Land use
- University teaching facilities, associated and ancillary facilities, student accommodation
 - Car parking provision in multiple areas within the Campus
 - In the order of 1,900 formal and informal car parking spaces

Existing development

- Administration building (1305 on the plan in Figure 2)
 - Formerly used for Department of Facilities, Management and Operations and a mail store
- Farmhouse building (1306)
 - Previously used for general office space
- Buildings 1305 and 1306 are currently vacant
 - o 21 staff who previously worked at the site have now been relocated off campus
- Car parking for 22 cars

Proposal

- Refurbishment of the existing administration and farmhouse buildings to facilitate a new School of Engineering faculty
 - Refurbishment of the existing ground floor to include student study space, meeting rooms and labs;
 - Additional 107 m² of GFA at the tip of southern wing of the ground floor for a new lab;
 - Addition of a mezzanine Level 1 to facilitate staff open plan office and meeting rooms;
 - o Associated landscaping works;
 - Minor additions and amendments to existing access and road infrastructure;
 - o Installation of solar panels; and
 - Refurbishment of the existing farmhouse and addition of meeting room.
- Total increase of GFA from 1,960 to 2,467 m², by 507 m².



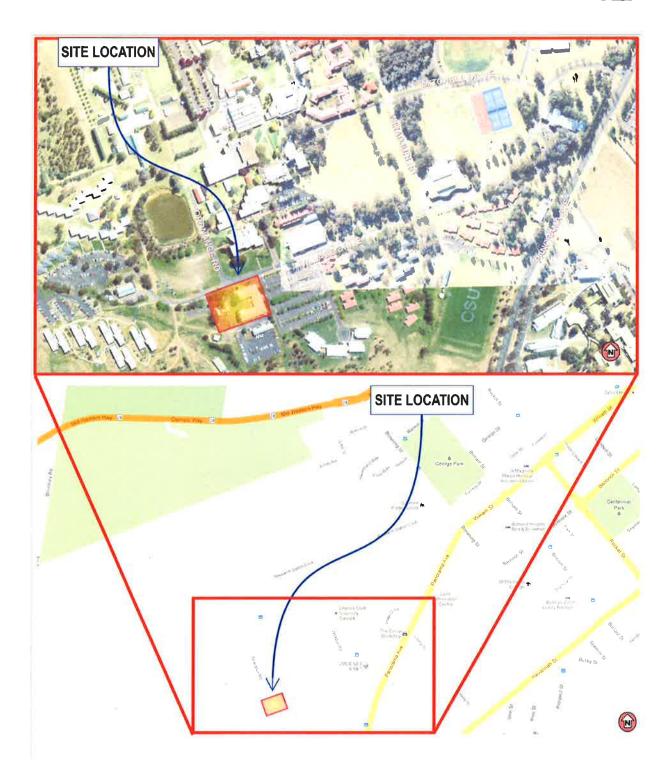


Figure 1. Site location.



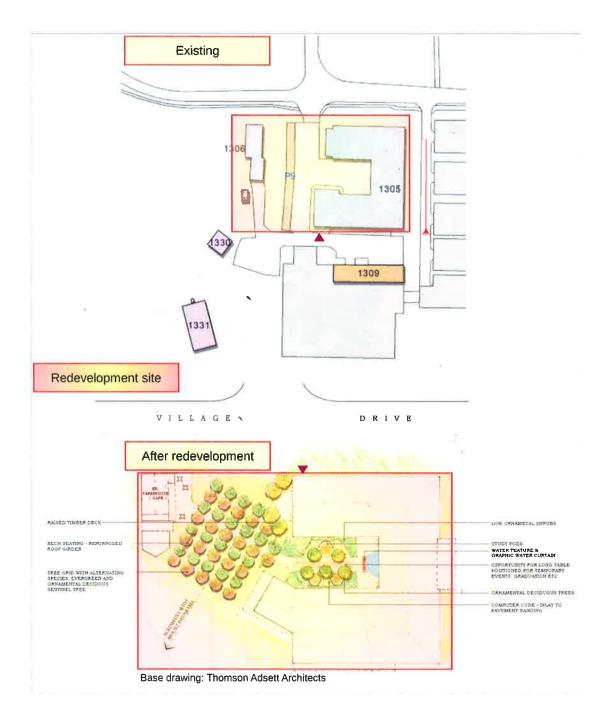


Figure 2. Proposed redevelopment.

Report

Existing traffic and parking situation

- Street characteristics
 - External streets and access Refer to Figure 3.
 - Internal streets low to moderate traffic volumes, no capacity issues.



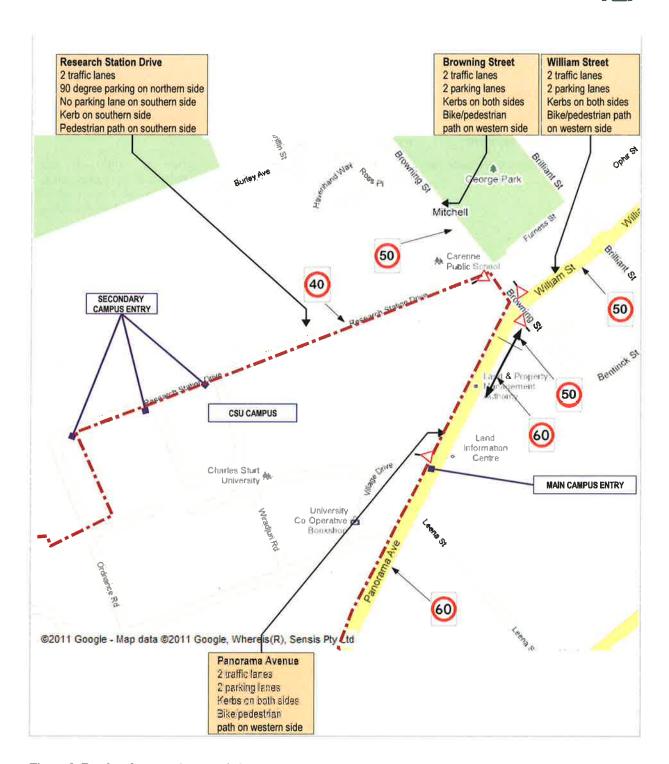


Figure 3. Road and access characteristics.



Report

· Existing parking demand

Location(s)

Refer to Figure 4.

Date / time period

Wednesday 11 March 2015 7:00 am to 7:00 pm

Survey results

Refer to Table 1.

Important conclusions

Peak parking demand occurred at 11.00 am with approximately 1,560 vehicles present in all car parking areas. This level of demand was well below the number of car parking spaces. There were about 440 vacant spaces during the peak demand.

It is worthy of note, that the number of vacant spaces in P7 (7a in Figure 4), next to the proposed facility, was ranging between 100 and 250 throughout the day.

It is also interesting to note that the existing car parking accumulation is much lower than that counted in the course of a traffic and parking study for the CSU Bathurst Campus, carried out by TEF Consulting in 2011. Survey conducted on 14 March 2011 (exactly the same week of the year as the current survey) showed a higher rate of car parking capacity utilisation (by about 10%) than at present. In real terms, this translates into approximately 150-200 additional vacant spaces in 2015 compared with the car parking situation in 2011.



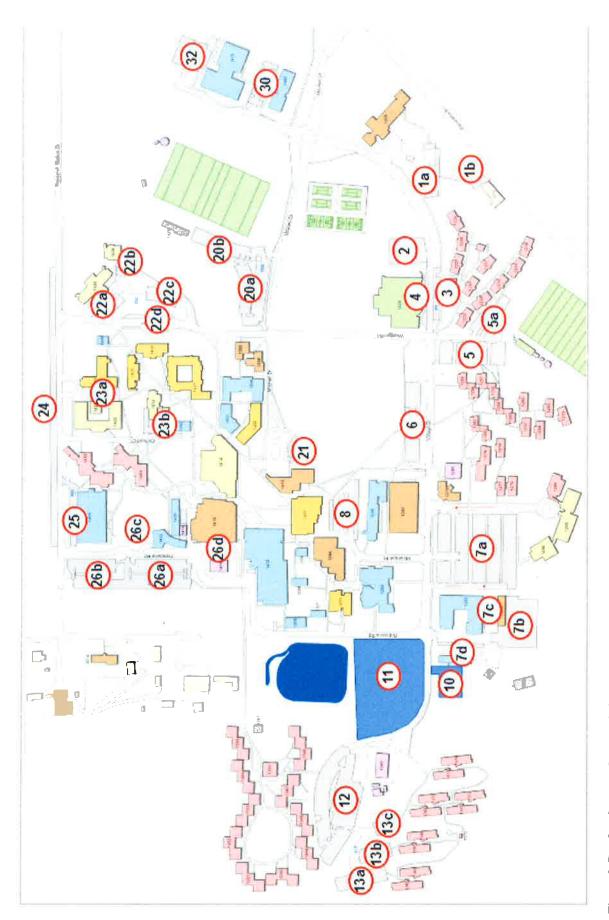


Figure 3. Road and access characteristics.



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37 235 38 9 9 9 65

55 4

18:00

17:00

Table 1. Results of car parking accumulation surveys.



Report

Parking impacts

Planning controls

- Development type
 - The proposed development is classified as a Crown Development and cannot be refused. However, assessment of the proposal has to take into account compliance with relevant statutory plans and policies.
- Consent authority
 - Western Joint Regional Planning Panel
- Relevant planning control for the present assessment
 - Bathurst Regional Development Control Plan 2014
 - Car parking requirements Clause 14.3
 - Educational establishment:
 - 1 space per 2 employees plus 1 space per 5 students for tertiary institutions.
 - For the proposed development:
 - \circ 20 staff / 2 = 10 spaces
 - \circ 100 students / 5 = 20 spaces
 - Total 10 + 20 = 30 car parking spaces

Compliance

- The proposed development involves a deletion of 22 existing car parking spaces
- 22 staff of the existing farmhouse building have been relocated off-campus, thereby reducing the car parking requirements by 11 car parking spaces
- · The total additional car parking requirement is therefore
 - 30 spaces for the new facility,
 - plus 22 spaces for the removed car parking spaces,
 - o minus 11 spaces for reduced staff numbers
 - Total 30 + 22 11 = 41 car parking spaces
- Proposed additional car parking provision
 - o Ni

Impacts

- The existing off-street car parking provision on the grounds of the Bathurst Campus of CSU significantly exceeds the observed car parking demand (based on the results of car parking accumulation surveys in 2011 and 2015).
 - o The number of vacant car parking spaces during the periods of peak parking demand is
 - in the order of 440 car parking spaces overall
 - in the order of 130 to 140 car parking spaces in car parking areas 7a and 7b (refer to **Figure 3**), immediately adjacent to the proposed facility
 - There is more than sufficient capacity within the existing off-street car parking areas to accommodate the additional car parking demand of 41 spaces, likely to be generated by the proposed development.
 - No additional car parking will be required as a result of the proposal.

8 of 10

• There will be no negative car parking impacts outside the CSU Campus.



Report

Bicycle parking

- Bicycle parking requirements Clause 14.4
 - Educational establishment:
 - o 1 per 20 employees plus 1 per 20 full-time students.
 - For the proposed development:
 - \circ 20 staff / 20 = 1 space
 - 100 students / 20 = 5 spaces
 - \circ Total 1 + 5 = 6 bicycle spaces
- Proposed provision
 - 6 bicycle parking spaces to comply with the above requirements
- Shower Facilities
 - If 5 or more employee bicycle spaces are required, 1 shower facility for the first 5 employee bicycle spaces is to be provided
 - Not required for the proposed development, however the proposal includes one male and one female shower
- Change Rooms
 - 1 change room or direct access to a communal change room is to be provided for each shower.
 - One (1) change room is proposed



Report

Traffic impacts

Traffic Generation

- Base traffic generation rates
 - o Number of peak hour car trips in and out of the site based on 2011 survey results
 - Factor for estimation of the additional traffic generation
 - Number of additional staff and students divided by the estimated number of staff and students on site during the 2011 surveys
 - 120 (additional) / 1,872 (in 2011) = 0.064
 - Estimated additional car trips
 - AM peak hour
 - In 39 / Out 8
 - PM peak hour
 - In 21 / Out 16
 - The above number of additional trips is not likely to affect the operation of the surrounding road network.

Conclusions

- Parking impacts
 - No parking impacts due to the high level of the existing spare off-street car parking capacity
- Traffic impacts
 - The additional traffic will have no negative impacts on the street network operation
- The proposed development is supportable on traffic and parking grounds.

Quin sul

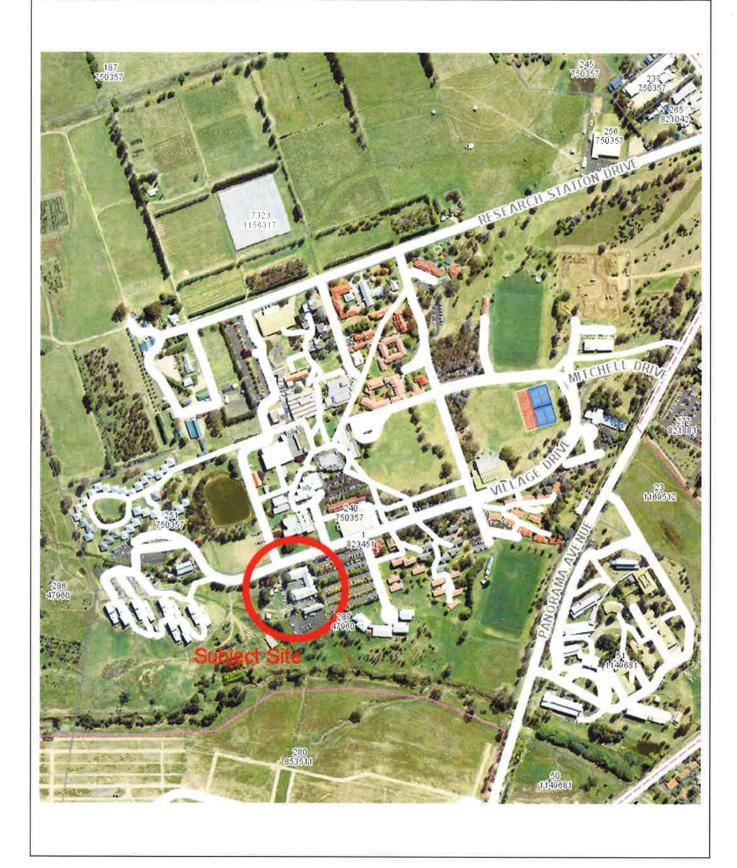
Oleg I. Sannikov

Director

MEngSc (Traffic Engineering)

MIEAust, PEng

MAITPM





Bathurst Regional Council PMB 17 158 Russell Street BATHURST NSW 2795 Temphone 07 6116 511 Fax: 02.6317.7211 Email: council@bathurst.nsw.gov.au

Important Notice!

Important Notice!
This map is not a precise survey document, Accurate location

This information has been prepared for Countr's internal purposes and from onliber propose. For statement is made about the accuracy or suitability of the information for use for any purpose (whileful or suitability of the information for use for any purpose (whileful or country of the data, neither the Sabhust's Regional Countr's nor the 191 makes any representations or warrantees about its correct, relability, completeness or suitability for any particular purpose and dischains all responsibility and all feldely (including purpose and dischains all responsibility and all feldely (including purpose and dischains all responsibility and all feldely (including purpose and dischains all responsibility and collections) and the suitability of the suitability of the data bring inscrute or incomplete in any vary and for any veasors.



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DA2015/0085 Locality Plan

Map Scale: 1:6315 at A4





Civic Centre 158 Russell Street Private Mail Bag 17 Bathurst NSW 2795 Telephone 02 6333 6111 Facsimile 02 6331 7211 council@bathurst.nsw.gov.au www.bathurstregion.com.au

27 April 2015

NOTICE TO APPLICANT OF DETERMINATION OF A DEVELOPMENT APPLICATION

Mr S Butt **Charles Sturt University** Locked Bag 588 **RIVERINA MC NSW 2678**

being the applicant in respect of **Development Application No 2015/0085**.

Pursuant to section 81(1)(a) of the Environmental Planning and Assessment Act 1979, as amended, notice is hereby given of the determination by Council of Development Application No 2015/0085, relating to the land described as follows:

LOT: 287 DP: 47960, 353 PANORAMA AVENUE MITCHELL

The Development Application has been determined by GRANTING consent to the following development:

ADDITIONS AND ALTERATIONS TO EXISTING BUILDINGS AND USE AS AN **EDUCATION FACILITY (ENGINEERING SCHOOL)**

Building Code of Australia building classification 9b.

IMPORTANT NOTICE TO APPLICANT

If this consent relates to a subdivision or to the erection of a building, one of the conditions listed below will require you to obtain a construction certificate prior to carrying out any work. YOU MUST NOT COMMENCE WORK UNTIL YOU HAVE RECEIVED THE CONSTRUCTION CERTIFICATE, even if you made an application for a construction certificate at the same time as you lodged this development application. Due to changes in the law relating to planning and building approvals, Council is unable to issue the construction certificate with the development consent. If there are no conditions in this development consent which need to be met before Council issues the construction certificate, and if your plans comply fully with the Building Code of Australia, the construction certificate will be forwarded to you shortly.

This consent is issued subject to the following conditions and reasons:

PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

The applicant is to submit three copies of engineering plans, specifications and calculations in relation to drainage, stormwater, energy dissipating structure, access, paving and line marking.

Reference:

SHOY:LMW:DA/2015/0085

Enquiries:

Mr S A Hoy





Further, the works are to comply with Bathurst Regional Council's Guidelines for Engineering Works.

REASON: Because it is in the public interest that the design of that (those) aspect(s) of the development comply with Council's Engineering Guidelines. Section 79C(1)(c) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

2. The developer is to apply to Council for a Certificate of Compliance pursuant to Section 305 of the Water Management Act, 2000 (application form attached).

NOTE 1: The developer will have to contribute the sum of \$6,887.70 water headworks plus \$6,702.75 sewer headworks before the Certificate of Compliance will be issued.

All monetary conditions are reviewed annually, and may change as of 1 July each year.

REASON: Because it is in the public interest that Council maintain the ability to provide adequate water and sewer reticulation services. Section 79C(1)(c) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

3. The payment to Council of \$990.00 for the inspection of plumbing and drainage work.

This fee must be paid at the time of lodgement of any Construction Certificate.

All monetary conditions are reviewed annually, and may change as of 1 July each year.

REASON: Because it is in the public interest that such fees be paid in accordance with Council's Management Plan. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

4. Prior to the issue of a Construction Certificate, the applicant is to satisfy Council that the amount of the long service levy payable under Part 5 of the Building and Construction Industry Long Service Payments Act 1986 in respect of the erection of the building has been duly paid or, if the levy is to be paid by instalments pursuant to Section 43 of that Act, the first instalment of that long service levy has been duly paid.

REASON: To comply with the relevant provision of the Building and Construction Industry Long Service Payments Act 1986. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

Reference: Enquiries: 0003DD DA doc 5. Any development involving non-friable asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under Part 8.10 of the Work Health and Safety Regulation 2011.

The applicant/owner having the benefit of the Complying Development Certificate or Development Application must provide Bathurst Regional Council with a copy of a signed contract with such a person before any development pursuant to the consent commences.

Any such contract must indicate whether any non-friable asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the non-friable asbestos material or friable asbestos material is to be delivered.

NOTE: Please provide evidence of lawful disposal (eg Bathurst Regional Council Waste Management Centre receipt).

REASON: So that the development complies with the requirements of Clause 136E of the Environmental Planning and Assessment Regulation 2000. Section 80A(11) of the Environmental Planning and Assessment Act 1979, as amended.

6. The applicant is to obtain a CONSTRUCTION CERTIFICATE pursuant to Section 109C of the Environmental Planning and Assessment Act 1979, as amended from either Council or an accredited certifying authority certifying that the proposed works are in accordance with the Building Code of Australia PRIOR to any works commencing.

NOTE 1: No building, engineering, excavation work or food premises fitout is to be carried out in relation to this development until the necessary Construction Certificate has been obtained.

NOTE 2: YOU MUST NOT COMMENCE WORK UNTIL YOU HAVE RECEIVED THE CONSTRUCTION CERTIFICATE, even if you made an application for a Construction Certificate at the same time as you lodged this development application.

NOTE 3: It is the responsibility of the applicant to ensure that the development complies with the provision of the Building Code of Australia in the case of building work and the applicable Council Engineering Standards in the case of subdivision works. This may entail alterations to the proposal so that it complies with these standards.

Reference: Enquiries: 0003DD_DA doc SHOY;LMW:DA/2015/0085

Mr S A Hoy

REASON: So that the design of the proposed work may be assessed in detail before construction commences and because it is in the public interest that the development comply with the appropriate construction standards. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

PRIOR TO ANY WORK ON SITE

7. Prior to the commencement of plumbing and drainage works the responsible plumbing contractor is to submit to Council a "Notice of Works" under the Plumbing and Drainage Act 2011.

REASON: To ensure that the plumbing and drainage works is in accordance with the Plumbing and Drainage Act 2011. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

8. The applicant is to submit to Council, at least two days prior to the commencement of any works, notification of the details of the Principal Certifying Authority appointed by the owner for the development.

NOTE 1: If Bathurst Regional Council is to be appointed as the Principal Certifying Authority, the <u>attached</u> Agreement for the performance of certification work is to be completed.

REASON: Because it is in the public interest that Council receive notification in accordance with the provision of the Environmental Planning and Assessment Act 1979, as amended. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

9. Submission by a practising Structural Engineer, approved by Council, of Engineer's details of all structural concrete and structural steelwork before such work commences.

REASON: Because it is in the public interest that all building elements are able to withstand the combination of loads and other actions to which it may be subjected. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

DURING CONSTRUCTION

10. The plumbing and drainage must be inspected by Council at the times specified in Column 2.

COLUMN 1	COLUMN 2
Internal house drainage	When all internal plumbing work is installed and prior to concealment.
External house drainage	When all external plumbing work is installed and prior to concealment.

Reference: Enquiries: 0003DD_DA doc

SHOY:LMW:DA/2015/0085

Mr S A Hoy

COLUMN 1	COLUMN 2
Stack work	When all work is installed and prior to concealment.
Final	Prior to occupation of the building.

REASON: Because it is in the public interest that plumbing work is certifying as complying with AS/NZS 3500 and The Plumbing Code of Australia. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

11. The applicant is to arrange an inspection of the development works by Council's Engineering Department at the following stages of the development. This condition applies notwithstanding any private certification of the engineering works.

COLUMN 1	COLUMN 2	
Drainage	* After laying of pipes and prior to backfill;	
	* Pits after rendering openings and installation of step irons.	
Erosion and sediment control	* Prior to the installation of erosion measures.	
All development and/or subdivision works	* Practical completion.	

REASON: Because it is in the public interest that Council inspect the work at these stages of development. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

12. The Builder must at all times maintain, on the job, a legible copy of the plan and specification approved with the Construction Certificate.

REASON: Because it is in the public interest that a copy of the construction certificate plans are available. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

13. Building work involving the use of electric or pneumatic tools or other noisy operations shall be carried out only between 7.00 am and 8.00 pm on weekdays and 8.00 am and 8.00 pm on weekends and public holidays.

REASON: So that building works do not have adverse effect on the amenity of the area. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

Reference: Enquiries: SHOY:LMW:DA/2015/0085

DO03DD_DA doc

Mr S A Hoy

14. All building rubbish and debris, including that which can be wind blown, shall be contained on site in a suitable container at all times prior to disposal at Council's Waste Management Centre. The container shall be erected on the building site prior to work commencing.

Materials and sheds or machinery to be used in association with the construction of the building shall not be stored or stacked on Council's footpath, nature strip, reserve or roadway.

NOTE 1: No building rubbish or debris shall be placed or be permitted to be placed on any adjoining public reserve, footway, road or private land.

REASON: To ensure that the building site and adjoining public places are maintained in a clean and tidy condition so as not to interfere with the amenity of the area. Section 79C (1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

15. Erosion and sediment control measures are to be established prior to commencement of construction and maintained to prevent silt and sediment escaping the site or producing erosion. This work must be carried out and maintained in accordance with Council's Erosion and Sediment Control Guidelines for Building Site.

NOTE 1: All erosion and sediment control measures must be in place prior to earthworks commencing. Copies of the above guidelines are available from Council's Environmental, Planning & Building Services Department.

REASON: To ensure the impact of the work on the environment in terms of soil erosion and sedimentation is minimised. Section 79C (1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

16. The demolition is to be carried out in accordance with the provisions of Australian Standard AS2601-2001: The Demolition of Structures.

REASON: Because it is in the public interest that the demolition be carried out in a safe manner and that the utilities be protected from damage. Section 79C(1)(a) & (e) of the Environmental Planning and Assessment Act 1979, as amended.

- 17. If soil conditions require it:
 - retaining walls associated with the erection/demolition of a building or other approved methods of preventing movement of soil must be provided, and
 - b) adequate provision must be made for drainage.

REASON: Because it is in the public interest that all building elements are able to withstand the combination of loads and other actions to which it may be subjected. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

- 18. All excavation and backfilling associated with the erection/demolition of the building must:
 - a) be executed safely and in accordance with appropriate professional standards, and
 - b) be properly guarded and protected to prevent them from being dangerous to life or property.

REASON: Because it is in the public interest that all building elements are able to withstand the combination of loads and other actions to which it may be subjected. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

19. All existing house sewerage drainage pipelines affected by the proposed refurbishment of existing building and any further additions are to be relaid to clear the new building alignment.

REASON: To ensure the house sewerage drainage is accessible at all times for maintenance purposes. Section 79C(1)(c) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

20. All redundant plumbing and drainage is to be capped off in accordance with AS/NZS 3500 and the Plumbing Code of Australia.

Further, the works are to be inspected by Council's Plumbing and Drainage Inspectors before the capped off works have been concealed.

REASON: To protect the plumbing and drainage systems and to prevent unhealthy conditions on site. Section 79C(1)(c) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

21. The building is to be designed and constructed so that all floor levels have sufficient height to enable the house drainage line to fall at a permissible grade to the connection to Council's sewer main, and the earthworks on the site are to be such that there is the required minimum cover over the house drainage line, all in accordance with AS/NZS 3500 and the Plumbing Code of Australia.

Reference: Enquiries: 0003DD_DA doc SHOY:LMW:DA/2015/0085

Mr S A Hoy

REASON: To ensure that the design, siting and height of the building is such that the house drainage operates correctly and because it is in the public interest to comply with the Local Government (Approvals) Regulation, 1999 made under the Local Government Act, 1993. Section 78A(4) of the Environmental Planning and Assessment Act 1979, as amended.

22. All plumbing and drainage work shall be carried out by a licensed plumber and drainer and to the requirements of AS/NZS 3500 and the Plumbing Code of Australia.

NOTE 1: It will be necessary to install a temperature control device (eg tempering valve) to ensure that hot water to all personal hygiene fixtures is delivered at a temperature not exceeding 50°C.

REASON: To ensure that all plumbing and drainage work is carried out in accordance with the requirements of the Local Government (Approvals) Regulation, 1999. Section 78A(4) of the Environmental Planning and Assessment Act 1979, as amended.

23. All roofed and paved areas are to be drained and the water from those areas and from any other drainage conveyed to the existing roofwater drainage system, in accordance with AS/NZS 3500.

Storm water disposal drains shall be connected to all roof gutter down pipes within 14 days of installation of the down pipes and/or the construction of hard standing areas, as may be appropriate, to discharge roofwater to the approved method of disposal.

Where kerb and gutter is constructed, an approved PVC or galvanised steel kerb adaptor (either roll over kerb adaptor or upright kerb adaptor) shall be installed in the kerb.

NOTE 1: 'Pump-out' stormwater drainage systems are not acceptable.

REASON: Because the character of the development is such that storm water run off will be increased and must be safely conveyed to the storm water drainage system. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

The ground surrounding the building shall be graded and drained to ensure that all surface and seepage water is diverted clear of buildings on the site and clear of adjoining properties. Permanent surface or subsoil drains or a combination of both shall be provided to all excavated areas, hard standing areas and depressions. The invert of such drains shall be a minimum of 200 mm below the finished floor level and shall have a minimum grade of 1:100 to the approved storm water disposal location. This work shall be carried out within 14 days of the installation of the roof gutter down pipes.

Reference:

SHOY:LMW:DA/2015/0085

Enquiries: 0003DD_DA doc

Mr S A Hoy

REASON: A drainage system for the disposal of stormwater must convey the water to an appropriate outfall, avoid the entry of water into a building, avoid water damaging the building and avoid the likelihood of damage or nuisance to any other property. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

25. All earthworks, filling, building, driveways or other works, are to be designed and constructed (including stormwater drainage if necessary) so that at no time will any ponding of stormwater occur on adjoining land as a result of this development.

REASON: To prevent the proposed development having a detrimental effect on the developments existing on the adjoining lands. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

26. The paving (in concrete) and permanent line marking of all vehicular manoeuvring and parking areas, in accordance with Bathurst Regional Council's Guidelines for Engineering Works.

NOTE 1: If other hard standing, dust free and weather proof surfaces are proposed instead of concrete, written approval is to be obtained from Council that the proposed alternative is acceptable.

REASON: To adequately provide for the safe, all-weather loading, unloading, manoeuvring and parking of vehicles within the development. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

27. The developer is to relocate, if necessary, at the developer's cost any utility services.

REASON: Because the circumstances are such that the services be relocated. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

28. The external materials to be used in the proposed development are to match those used on the existing building.

REASON: Because matching materials will unify the new work with the existing. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

29. During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.

Reference: Enquiries: 0003DD_DA doc SHOY:LMW:DA/2015/0085

Mr S A Hoy

NOTE 1: A Section 140 Permit will need to be obtained to disturb archaeological relics. This permit is to be obtained from the Heritage Division, NSW Office of Environment & Heritage, prior to the disturbance of the archaeological relics.

REASON: To record and preserve historic details of previous uses of the site. Section 79(C)(1)(b) and (e) of the Environmental Planning and Assessment Act 1979.

30. The sheet metal cladding on the roof is to be traditional corrugated profile.

REASON: Because matching materials will unify the new work with the existing. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

PRIOR TO OCCUPATION/SUBDIVISION CERTIFICATE

31. The applicant is to submit to Council one set of electronic files in both Portable Document Format (.pdf) and in CAD Drawing (.dwg) format (MGA co-ordinates, with each of the services on a separate layer eg separate out water, sewer, storm water to their own layers) and one set of paper copies of the works as executed plans for the drainage.

Each sheet is to include a bar scale or scales adjacent to the title block showing the scale (the works as executed plan is to be scaled at 1:500) and each sheet is to be properly signed and dated by the person responsible for the carrying out of those works. Further, the works are to comply with Bathurst Regional Council's Guidelines for Engineering Works.

REASON: So that Council may ensure that the construction is in accordance with Council's requirements, and so that a permanent record of the design as constructed may be held by Council, to assist in future maintenance, or for the information of the emergency services. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

32. Prior to the issue of the Occupation Certificate, details of a heritage interpretation strategy are to be submitted to Council for approval. The strategy is to include a heritage assessment of the 'farmhouse' and the 'engineering building' and provide details of how the heritage will be recorded and interpreted on/around these buildings (eg. Signage/plaque).

REASON: To record and preserve historic details of previous uses of the site. Section 79(C)(1)(b) and (e) of the Environmental Planning and Assessment Act 1979.

33. Prior to the issue of any Occupation Certificate the responsible plumbing contractor is to submit to Council a copy of the Certificate of Compliance issued for the works.

Reference: Enquiries: 0003DD DA doc SHOY:LMW:DA/2015/0085

Mr S A Hoy

REASON: To ensure that the plumbing and drainage works is in accordance with the Plumbing and Drainage Act 2011. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

34. Submission of a certificate from a practising structural engineer approved by the Council certifying that the completed building has been constructed in accordance with the engineer's details and is structurally sound.

REASON: Because it is in the public interest that all building elements are able to withstand the combination of loads and other actions to which it may be subjected. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

- 35. The owner shall submit to Council a final Fire Safety Certificate stating that each essential fire safety measure specified in the current Fire Safety Schedule for the building to which the certificate relates:
 - a) has been assessed by a properly qualified person; and
 - b) was found, when it was assessed, to be capable of performing to a standard not less than that required by the current fire safety schedule for the building.

Further, the assessment is to be carried out within a period of three months of the date on which the final Fire Safety Certificate was issued. The owner of the building shall forward a copy of the certificate to the Fire and Rescue NSW and shall prominently display a copy in the building.

NOTE 1: A final Fire Safety Certificate must be provided before a final Occupation Certificate can be issued for the building and must be provided if a Fire Safety Order is made in relation to the building premises.

REASON: So that the development complies with the requirements imposed under clause 153 of the Environmental Planning and Assessment Regulation 2000, as amended. Section 80A(11) of the Environmental Planning and Assessment Act 1979, as amended.

36. Landscaping (including installation of an adequate watering system) is to be carried out and maintained in accordance with the certified landscape plan.

NOTE 1: The landscaping is to be completed prior to the occupation of the building.

REASON: To ensure that adequate landscaping is provided and maintained on the subject land. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

Reference: Enquiries: 0003DD_DA doc SHOY:LMW:DA/2015/0085

Mr S A Hoy

37. Submission of details of the proposed method of protecting the building from a fire by the installation of a fire hydrant and fire hose reel system.

These details are to be submitted to Council before such work commences.

NOTE 1: A fire hydrant and fire hose reel system is required to be installed to protect the proposed building. The details of such a system are to be compiled by a suitably qualified person and must be sufficient enough to demonstrate that the installation of the fire hydrant and fire hose reel system has been thoroughly investigated. These details may include the results of flow rate and pressure tests, any assumptions made or concessions applied from Australian Standard 2419.1 – 1994 and a scaled drawing of the proposed system. The drawing may include the type and diameter/s of all pipes, the location of the proposed system on the site and the type of water meter installed or to be installed.

REASON: Because it is in the public interest that the building provides an adequate level of fire protection. Section 79C (1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

USE OF THE SITE

- 38. Provision is to be made in the building and on the site for:
 - a) access to the building for people with disabilities in accordance with the Building Code of Australia:
 - b) toilet facilities for people with disabilities in accordance with the Building Code of Australia, and such toilet facilities shall be accessible to all persons working in, or using, the building; and

NOTE 1: The applicant must ensure that these matters are addressed in the plans and specifications submitted with the application for a construction certificate.

REASON: To provide for the use of the development by people with disabilities. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

39. A building number shall be displayed in a position clearly visible from the street in letters having a height of not less than 75 mm (3 inches). The number must be in a contrasting colour to the background on which it is placed. The correct building number is stated on the Notice of Determination.

REASON: Because it is in the public interest that the building/property be easily identifiable. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

Reference: Enquiries:

SHOY:LMW:DA/2015/0085

ries: Mr S A Hoy

40. The owner shall submit to Council an Annual Fire Safety Statement, each 12 months after the final Fire Safety Certificate was issued. The certificate shall be on, or to the effect of, Council's Fire Safety Statement (copy attached).

REASON: Because it is in the public interest that the development provides an Annual Fire Safety Statement. Section 79C (1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

41. The provision of at least six designated bicycle parking spaces on the subject land in accordance with Bathurst Regional (Interim) Development Control Plan 2011

REASON: To adequately provide for the parking of bicycles within the development. Section 79C (1)(b) of the Environmental Panning and Assessment Act 1979, as amended.

PRESCRIBED CONDITIONS

The following conditions are known as "Prescribed Conditions" and are required to be imposed as part of any development consent whether or not they are relevant to the development approved under this consent. Please do not hesitate to contact staff in Council's Planning and Development Department who will be happy to advise you as to whether or not the conditions are relevant.

42. All building work must be carried out in accordance with the requirements of the Building Code of Australia (as in force on the date the application for the relevant Construction Certificate or complying development certificate was made).

REASON: So that the development complies with the requirements imposed under Clause 98 of the Environmental Planning and Assessment Regulations 2000, as amended. Section 80A(11) of the Environmental Planning and Assessment Act 1979, as amended.

- 43. Building work (within the meaning of the Home Building Act 1989) must not be carried out unless the principal certifying authority for the development:
 - a) in the case of work done by a licensee under the Act:
 - i) has been informed in writing of the licensee's name and contractor license number, and
 - ii) is satisfied that the licensee has complied with the requirements of Part 6 of that Act, OR

Reference: Enquiries: SHOY;LMW:DA/2015/0085

Mr S A Hoy

- b) in the case of work to be done by any other person:
 - i) has been informed in writing of the person's name and ownerbuilder permit number, or
 - ii) has been given a declaration, signed by the owner of the land, that states that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of owner-builder work in section 29 of the Act,

and is given appropriate information and declarations under paragraphs a) and b) whenever arrangements for the doing of the work are changed in such a manner as to render out of date any information or declaration previously given under either a) or b).

NOTE 1: A certificate issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that the person is the holder of an insurance policy is sufficient evidence to satisfy this condition.

REASON: So that the development complies with the requirements of clause 98 of the Environmental Planning and Assessment Act Regulations 2000. Section 80A(11) of the Environmental Planning and Assessment Act 1979, as amended.

- 44. A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
 - a) stating that unauthorised entry to the site is prohibited, and
 - b) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside work hours.

Any sign is to be removed when the work has been completed.

NOTE 1: This condition does not apply to:

- a) building work carried out inside an existing building, or
- b) building work carried out on premises that are to be occupied continuously (both during and outside work hours) while the work is being carried out.

REASON: Because it is in the public interest that adequate safety measures are provided. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

Reference: Enquiries: 0003DD DA doc 45. The commitments listed in any relevant BASIX Certificate for this development are to be fulfilled in accordance with the BASIX Certificate Report, Development Consent and the approved plans and specifications.

REASON: So that the development complies with the requirements imposed under Clause 97A of the Environmental Planning and Assessment Regulations 2000, as amended. Section 80A (11) of the Environmental Planning and Assessment Act 1979, as amended.

- 46. If the development involves an excavation that extends below the level of the base of the footings of a building, structure or work (including any structure or work within a road or rail corridor) on adjoining land, the person having the benefit of the development consent must, at the person's own expense:
 - a) protect and support the building, structure or work from possible damage from the excavation; and
 - b) where necessary, underpin the building, structure or work to prevent any such damage.

The condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

REASON: Because it is in the public interest that all building elements are able to withstand the combination of loads and other actions to which it may be subjected. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

Endorsement date of determination and operative date:

27 April 2015

NOTES:

- Lapsing of consent. Unless a shorter period is specified in this notice, this
 consent will lapse if the development is not substantially commenced within five
 years of the date endorsed on this notice.
- Right of Review: If you are dissatisfied with this determination, section 82A of the Environmental Planning and Assessment Act 1979, as amended, gives you the right to request the Council to review its determination. Such a request must be accompanied by the fee prescribed in Council's Revenue Policy.

For Development Applications lodged prior to 28 February 2011 the review must be undertaken within 12 months of the date endorsed on this notice.

For Development Applications lodged after 28 February 2011 the review must be undertaken within 6 months of the date endorsed on this notice.

Reference:

SHOY:LMW:DA/2015/0085

Enquiries: Mr S A Hoy

3. Right of appeal: If you are dissatisfied with this determination, section 97 of the Environmental Planning and Assessment Act 1979, as amended, gives you the right of appeal to the Land and Environment Court.

For Development Applications lodged prior to 28 February 2011 the appeal must be lodged within 12 months of the date endorsed on this notice.

For Development Applications lodged after 28 February 2011 the appeal must be lodged within 6 months of the date endorsed on this notice.

- 4. See attached sheet for explanatory notes.
- All monetary conditions are reviewed annually, and may change as of 1 July each 5. year.

D R Shaw **DIRECTOR ENVIRONMENTAL, PLANNING & BUILDING SERVICES**

Reference: Enquiries: 0003DD_DA.doc

Telephone 02 6333 6111 Facsimile 02 6331 7211 council@bathurst.nsw.gov.au www.bathurst.nsw.gov.au www.bathurstregion.com.au Correspondence to: Private Mail Bag 17 BATHURST NSW 2795

DETERMINATION OF A DEVELOPMENT APPLICATION

EXPLANATORY NOTES

- 1. Should further explanation of the terms or conditions of the approval be required, please contact Council's Environmental Planning and Building Services Department.
- 2. Unless otherwise stated in a particular condition, it is the developer's responsibility to obtain any additional permits, approvals, consents, easements, or permission to enter necessary for the satisfaction of any conditions or for the completion of any works to be carried out in connection with the development.
- 3. Application for modification of this consent must be made on the prescribed form and be accompanied by the prescribed fee.
- 4. If amended building plans are submitted they must be accompanied by the fee set out in Council's Revenue Policy.